

65 OWEN ST, GLENDENNING

ARCHITECTURAL DRAWING SCHEDULE

DRAWING NO.	DRAWING NAME	REVISION	ISSUE DATE
A001	COVER SHEET / DRAWING LIST	P	13.03.2023
A002	SITE ANALYSIS	D	20.10.2022
A003	DEMOLITION PLAN	E	10.03.2023
A004	STAGE 1 SITE PLAN	P	13.03.2023
A005	STAGE 2 SITE PLAN	Q	13.03.2023
A006	STAGE 3 SITE PLAN	Q	13.03.2023
A007	ROOF PLAN	J	01.03.2023
A101	FLOOR PLANS - WORKSHOP	H	01.03.2023
A102	FLOOR PLANS - ADMIN BUILDING	H	23.02.2023
A103	FLOOR PLANS - CARPARK	M	10.03.2023
A201	STREET ELEVATION	G	23.02.2023
A202	ELEVATIONS - WORKSHOP	F	01.03.2023
A203	ELEVATIONS - ADMIN BUILDING	E	23.02.2023
A301	SECTIONS - WORKSHOP	F	01.03.2023
A302	SECTIONS - ADMIN BUILDING	H	01.03.2023
A303	SECTIONS - CARPARK	H	01.03.2023
A601	BRIDGE	C	01.03.2023

AERIAL VIEW



DEVELOPMENT APPLICATION

Notes	Issue	Description	Date	By	QA
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	G	DEVELOPMENT APPLICATION MOD	29.09.2022	SA	MM
	H	DEVELOPMENT APPLICATION MOD	20.10.2022	SA	HP
	J	REVISED DEVELOPMENT APPLICATION MOD	09.02.2023	SM	PM
	K	REVISED DEVELOPMENT APPLICATION MOD	15.02.2023	SM	PM
	L	REVISED DEVELOPMENT APPLICATION MOD	23.02.2023	SM	PM
	M	REVISED DEVELOPMENT APPLICATION MOD	01.03.2023	SM	PM
	N	REVISED DEVELOPMENT APPLICATION MOD	02.03.2023	SM	PM
	O	REVISED DEVELOPMENT APPLICATION MOD	10.03.2023	SM	PM
	P	REVISED DEVELOPMENT APPLICATION MOD	13.03.2023	SM	PM
Michael Morony NSWARB No. 6218	<div><div>REIDCAMPBELL</div><div>Architecture, Interiors, Project Management</div><div>ACN 002 033 801 ABN 28 317 605 875</div><div>Level 15, 124 Walker Street</div><div>North Sydney NSW 2060 Australia</div><div>Tel: 61 02 9954 5011 Email: sydney@reidcampbell.com</div><div>Fax: 61 02 9954 4946 Web: www.reidcampbell.com</div></div>				

DEVELOPMENT APPLICATION

CLIENT



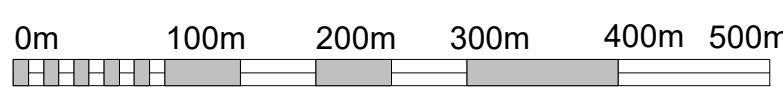
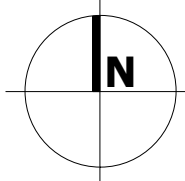
PROJECT PLANNER



PROJECT
PROPOSED BUSWAYS DEPOT
AND ANCILLARY FACILITIES
65 OWEN ST, GLENDENNING

Drawn	Checked	PRINT DATE
SA	HP	13/03/2023 2:42:22 PM

NORTH POINT

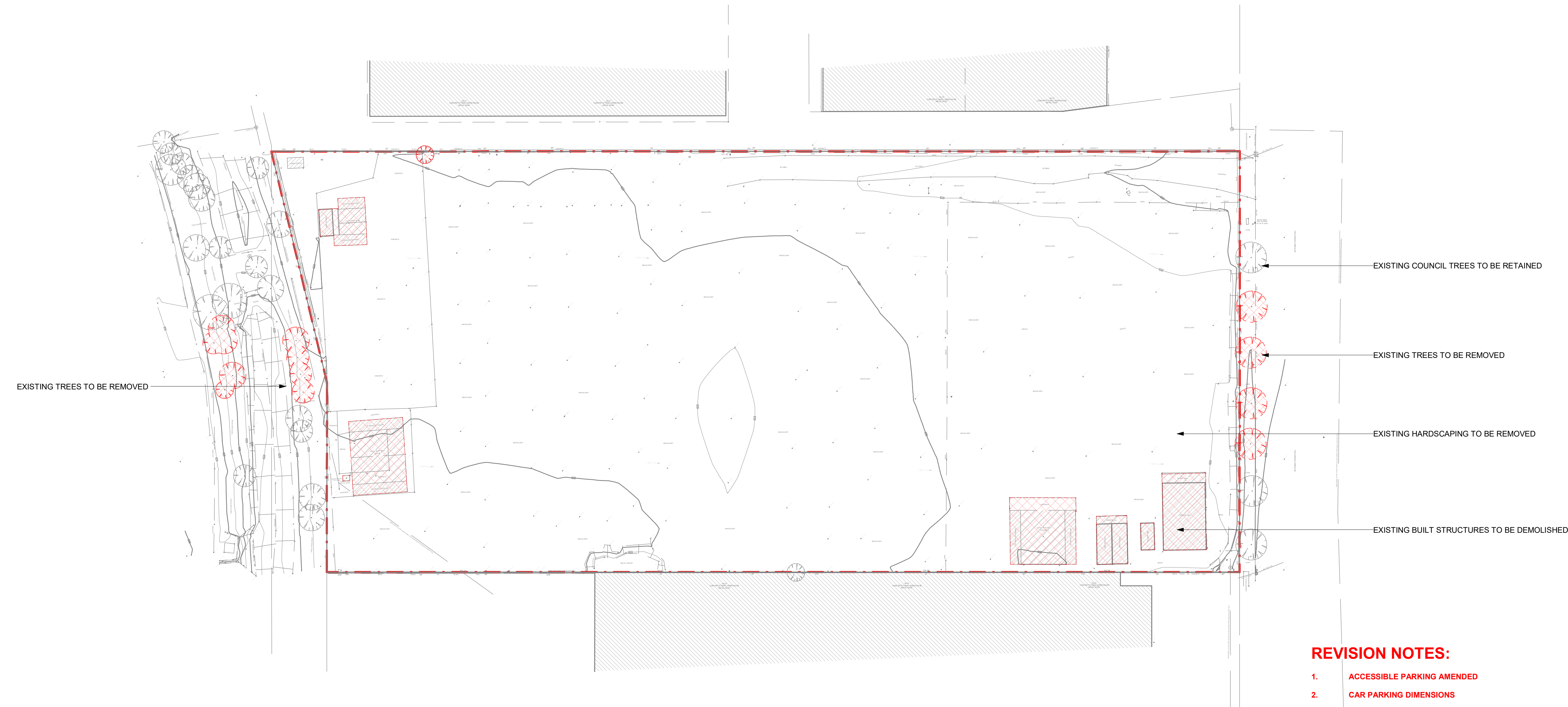


SCALE BAR 1:5000 @ A1 ; 1: 10000 @ A3

Drawing Title
COVER SHEET / DRAWING LIST

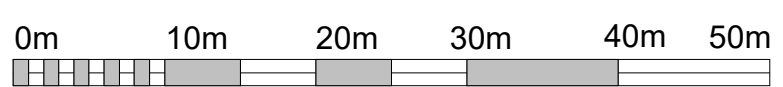
SHEET NUMBER
1220026_ A001

ISSUE
P



REVISION NOTES:

1. ACCESSIBLE PARKING AMENDED
2. CAR PARKING DIMENSIONS
3. BICYCLE PARKING ADDED
4. PLANT SHADING THROUGHOUT CAR PARK ADDED
5. AVERAGE 500MM LANDSCAPE SETBACK ALONG THE NORTHERN SIDE BOUNDARY ADDED
6. BOLLARDS FOR FUEL STORAGE AREAS
7. MALE AND FEMALE AMENITIES FOR ADMIN BUILDING
8. PROPOSED FENCING CLARIFIED
9. RL INFORMATION ADDED
10. BRIDGE INFORMATION INCLUDED ON SEPARATE DRAWING
11. FACADE SCREENING TO MULTI STOREY CAR PARK ADDED
12. THE DRIVEWAY WIDTH AMENDED
13. DEMOLISHED TREES AMENDED



SCALE BAR 1:500 @ A1 ; 1: 1000 @ A3

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Michael Morony NSWARB No. 6218				

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D	DEVELOPMENT APPLICATION MOD	20.10.2022	SA	HP
E	REVISED DEVELOPMENT APPLICATION MOD	10.03.2023	SM	PM

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DEVELOPMENT
APPLICATION

CLIENT



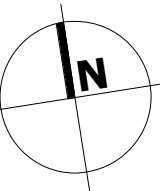
PROJECT PLANNER



PROJECT
PROPOSED BUSWAYS DEPOT
AND ANCILLARY FACILITIES
65 OWEN ST, GLENDEENING

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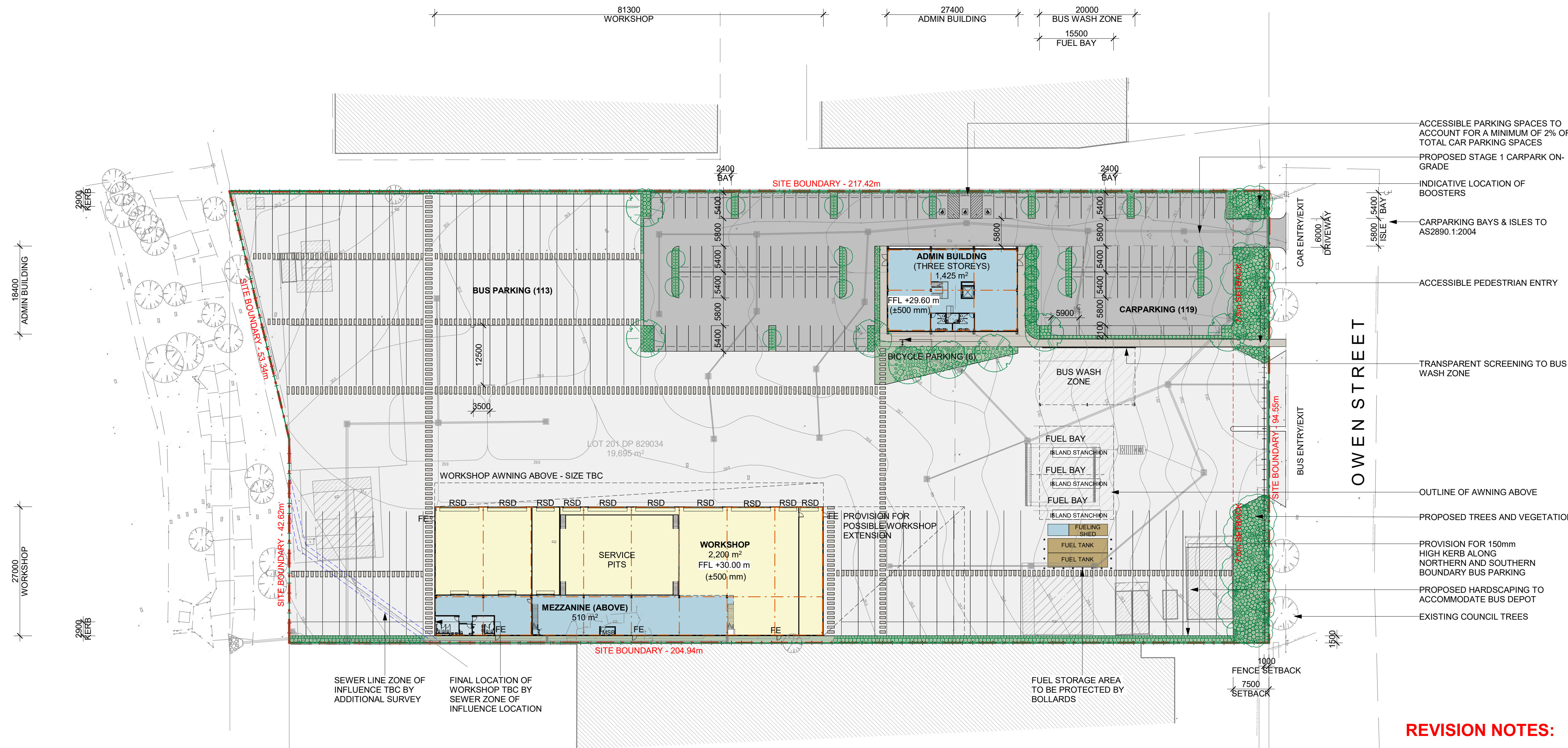
NORTH POINT



Drawing Title
DEMOLITION PLAN

SHEET NUMBER
1220026_A003

ISSUE
E



DEVELOPMENT TABLE

LOT SITE AREA (APPROX.) 19,695.2 m²

PROPOSED AREAS	
WAREHOUSE AREA:	2,200 m ²
MEZZANINE AREA:	510 m ²
OFFICE AREA:	1,425 m ²
FUEL BAYS:	300 m ²
BUSH WASH ZONE	240 m ²

TOTAL BUILT AREAS: 4,675 m²

LEGEND

	SITE BOUNDARY
	EASEMENT
	BUILDING SETBACK
	2.1m BLACK DIPLOMAT STYLE FENCE WITH ELECTRIC OPERATED ACCESS GATE
	WAREHOUSE
	OFFICE
	HEAVY DUTY PAVEMENT
	LIGHT DUTY PAVEMENT
	PEDESTRIAN PAVEMENT
	LANDSCAPING
	SERVICES

0m 10m 20m 30m 40m 50m

SCALE BAR 1:500 @ A1 ; 1: 1000 @ A3

Drawing Title
STAGE 1 SITE PLAN

SHEET NUMBER
1220026_A004

ISSUE
P

REVISION NOTES:

- ACCESSIBLE PARKING AMENDED
- CAR PARKING DIMENSIONS
- BICYCLE PARKING ADDED
- PLANT SHADING THROUGHOUT CAR PARK ADDED
- AVERAGE 500MM LANDSCAPE SETBACK ALONG THE NORTHERN SIDE BOUNDARY ADDED
- BOLLARDS FOR FUEL STORAGE AREAS
- MALE AND FEMALE AMENITIES FOR ADMIN BUILDING
- PROPOSED FENCING CLARIFIED
- RL INFORMATION ADDED
- BRIDGE INFORMATION INCLUDED ON SEPARATE DRAWING
- FACADE SCREENING TO MULTI STOREY CAR PARK ADDED
- THE DRIVEWAY WIDTH AMENDED
- DEMOLISHED TREES AMENDED

Issue	Description	Date	By	QA
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G	DEVELOPMENT APPLICATION	28.09.2022	HP	MM
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DEVELOPMENT APPLICATION

CLIENT

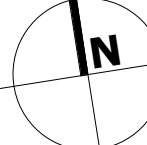
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PROJECT PLANNER

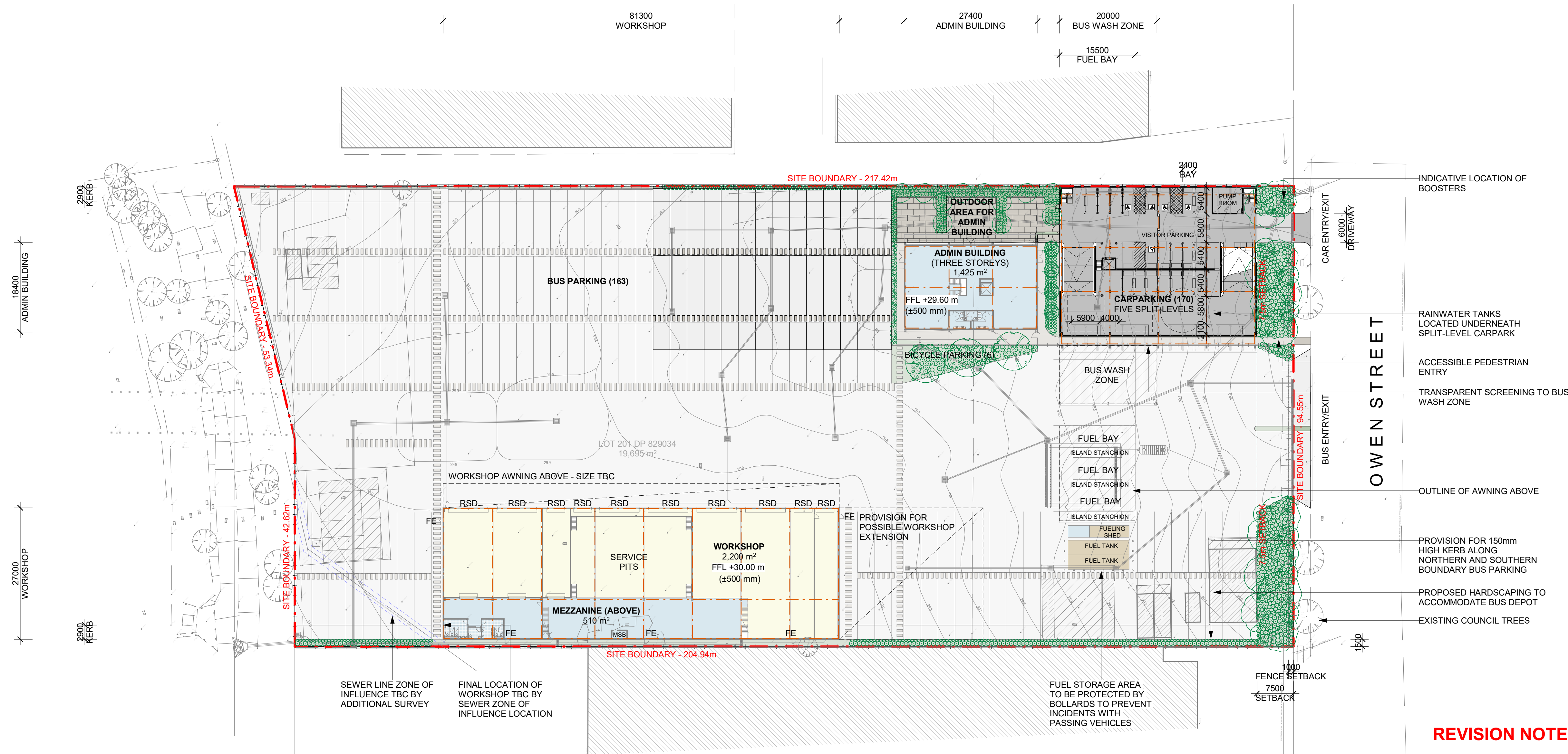
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PROJECT
PROPOSED BUSWAYS DEPOT
AND ANCILLARY FACILITIES
65 OWEN ST, GLENDENNING

NORTH POINT



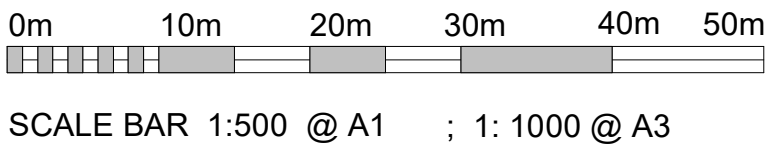
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DEVELOPMENT TABLE	
LOT SITE AREA (APPROX.)	19,695.2 m ²
PROPOSED AREAS	
WAREHOUSE AREA:	2,200 m ²
MEZZANINE AREA:	510 m ²
OFFICE AREA:	1,425 m ²
FUEL BAYS:	300 m ²
BUSH WASH ZONE	240 m ²
TOTAL BUILT AREAS:	4,675 m ²

LEGEND	
	SITE BOUNDARY
	EASEMENT
	BUILDING SETBACK
	2.1m BLACK DIPLOMAT STYLE FENCE WITH ELECTRIC OPERATED ACCESS GATE

	WAREHOUSE
	OFFICE
	HEAVY DUTY PAVEMENT
	LIGHT DUTY PAVEMENT
	PEDESTRIAN PAVEMENT
	LANDSCAPING
	SERVICES



SCALE BAR 1:500 @ A1 ; 1: 1000 @ A3

REVISION NOTES:

- ACCESSIBLE PARKING AMENDED
- CAR PARKING DIMENSIONS
- BICYCLE PARKING ADDED
- PLANT SHADING THROUGHOUT CAR PARK ADDED
- AVERAGE 500MM LANDSCAPE SETBACK ALONG THE NORTHERN SIDE BOUNDARY ADDED
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- MALE AND FEMALE AMENITIES FOR ADMIN BUILDING
- PROPOSED FENCING CLARIFIED
- RL INFORMATION ADDED
- BRIDGE INFORMATION INCLUDED ON SEPARATE DRAWING
- FAÇADE SCREENING TO MULTI STOREY CAR PARK ADDED
- THE DRIVEWAY WIDTH AMENDED
- DEMOLISHED TREES AMENDED

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DEVELOPMENT APPLICATION

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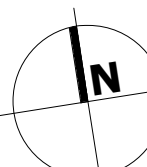


PROJECT PLANNER



PROJECT
PROPOSED BUSWAYS DEPOT
AND ANCILLARY FACILITIES
65 OWEN ST, GLENDEENING

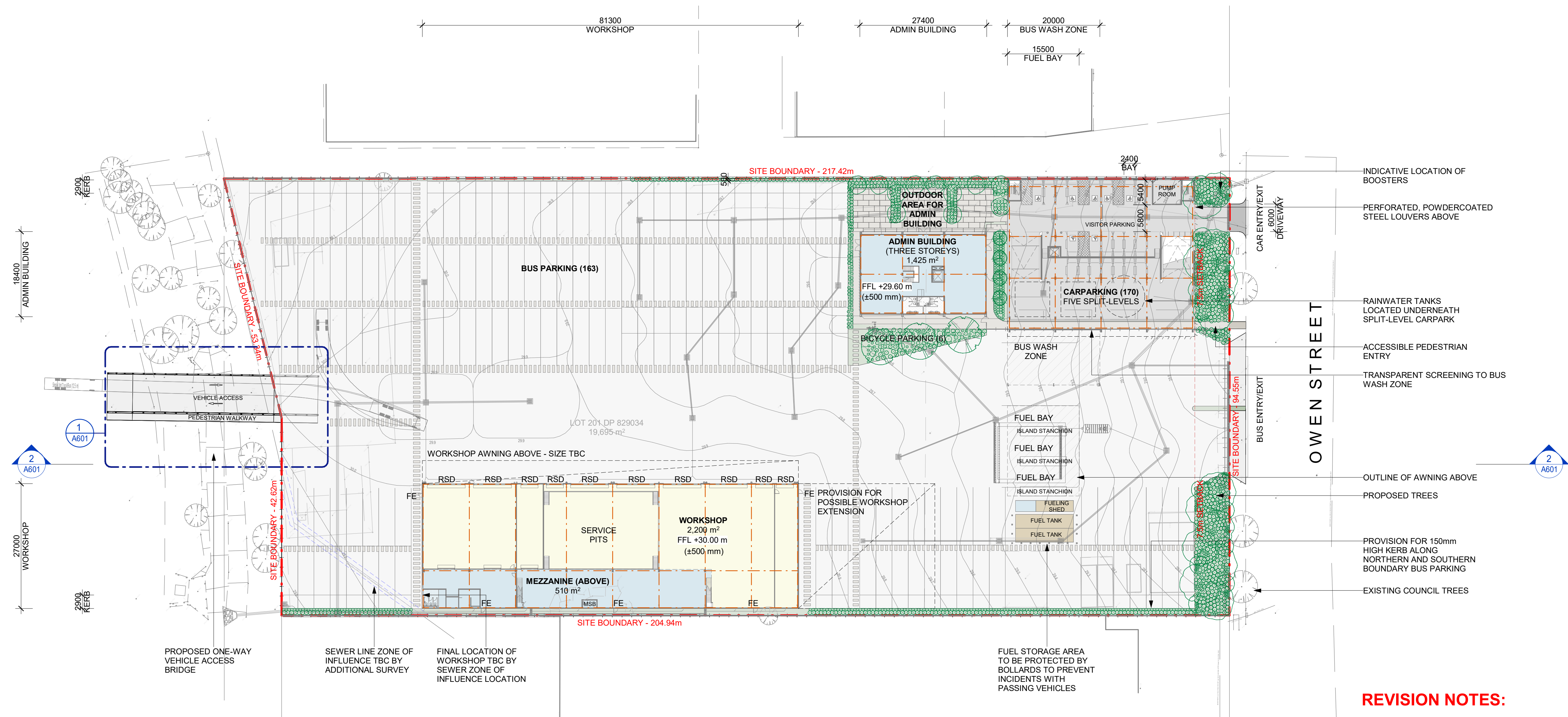
NORTH POINT



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SA	HP	13/03/2023 2:42:33 PM

Drawing Title
STAGE 2 SITE PLAN

SHEET NUMBER	ISSUE
1220026_A005	Q



DEVELOPMENT TABLE

LOT SITE AREA (APPROX.) 19,695.2 m²

PROPOSED AREAS

WAREHOUSE AREA:	2,200 m ²
MEZZANINE AREA:	510 m ²
OFFICE AREA:	1,425 m ²
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BUSH WASH ZONE	240 m ²

TOTAL BUILT AREAS: 4,675 m²

LEGEND

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	EASEMENT
	BUILDING SETBACK
	2.1m BLACK DIPLOMAT STYLE FENCE WITH ELECTRIC OPERATED ACCESS GATE
	WAREHOUSE
	OFFICE
	HEAVY DUTY PAVEMENT
	LIGHT DUTY PAVEMENT
	PEDESTRIAN PAVEMENT
	LANDSCAPING
	SERVICES

0m 10m 20m 30m 40m 50m

SCALE BAR 1:500 @ A1 ; 1: 1000 @ A3

Drawing Title
STAGE 3 SITE PLAN

SHEET NUMBER
1220026_A006

ISSUE
Q

REVISION NOTES:

- ACCESSIBLE PARKING AMENDED
- CAR PARKING DIMENSIONS
- BICYCLE PARKING ADDED
- PLANT SHADING THROUGHOUT CAR PARK ADDED
- AVERAGE 500MM LANDSCAPE SETBACK ALONG THE NORTHERN SIDE BOUNDARY ADDED
- BOLLARDS FOR FUEL STORAGE AREAS
- MALE AND FEMALE AMENITIES FOR ADMIN BUILDING
- PROPOSED FENCING CLARIFIED
- RL INFORMATION ADDED
- BRIDGE INFORMATION INCLUDED ON SEPARATE DRAWING
- FACADE SCREENING TO MULTI STOREY CAR PARK ADDED
- THE DRIVEWAY WIDTH AMENDED
- DEMOLISHED TREES AMENDED

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-Figured dimensions to be taken in preference to scaled drawings.	K	REVISED DEVELOPMENT APPLICATION MOD	09.02.2023	SM	PM
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	M	REVISED DEVELOPMENT APPLICATION MOD	23.02.2023	SM	PM
	N	REVISED DEVELOPMENT APPLICATION MOD	01.03.2023	SM	PM
	O	REVISED DEVELOPMENT APPLICATION MOD	02.03.2023	SM	PM
	P	REVISED DEVELOPMENT APPLICATION MOD	10.03.2023	SM	PM
	Q	REVISED DEVELOPMENT APPLICATION MOD	13.03.2023	SM	PM

Michael Morony NSWARB No. 8218

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DEVELOPMENT APPLICATION

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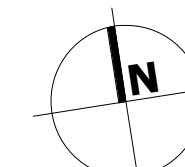


PROJECT PLANNER

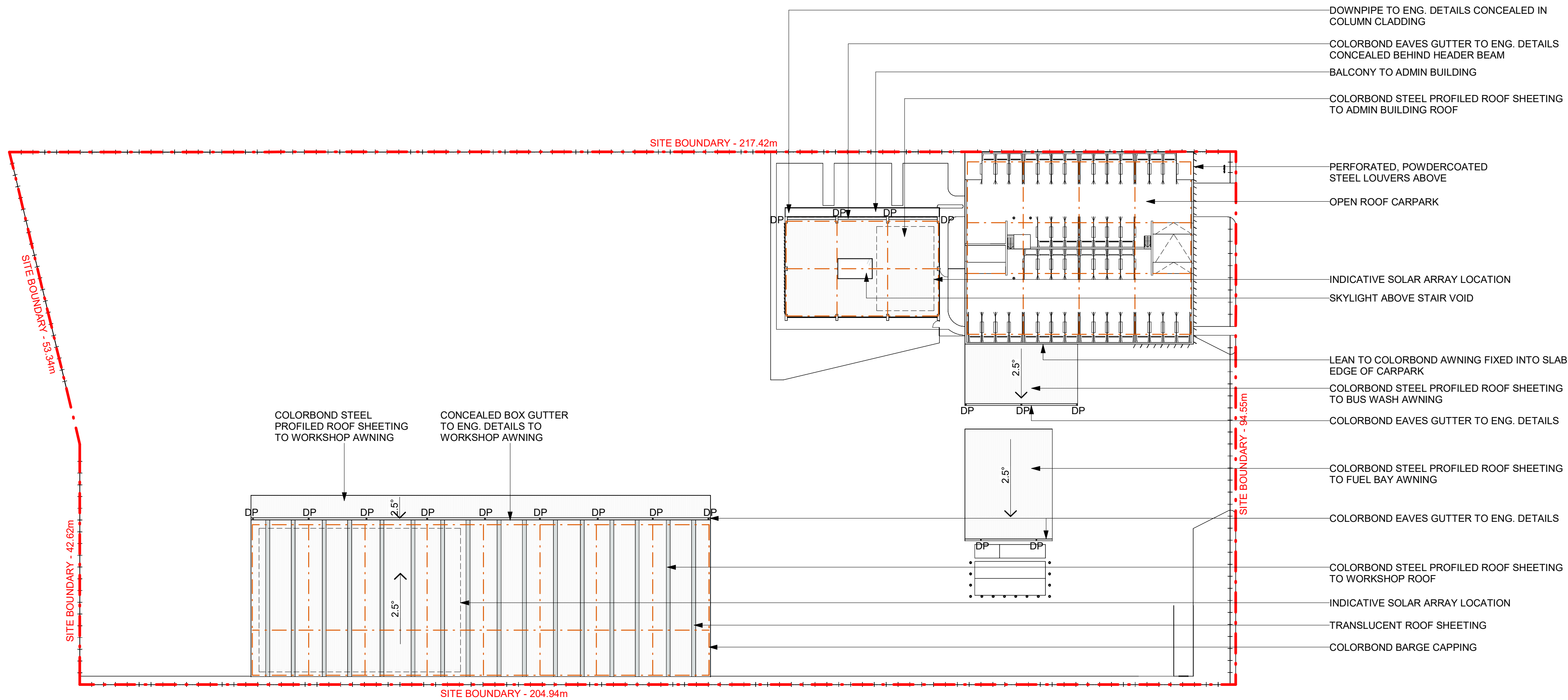


PROJECT
PROPOSED BUSWAYS DEPOT
AND ANCILLARY FACILITIES
65 OWEN ST, GLENDEENING

NORTH POINT



Drawn Checked PRINT DATE
HP MM 13/03/2023 2:42:38 PM



REVISION NOTES:

1. ACCESSIBLE PARKING AMENDED
2. CAR PARKING DIMENSIONS
3. BICYCLE PARKING ADDED
4. PLANT SHADING THROUGHOUT CAR PARK ADDED
5. AVERAGE 500MM LANDSCAPE SETBACK ALONG THE NORTHERN SIDE BOUNDARY ADDED
6. BOLLARDS FOR FUEL STORAGE AREAS
7. MALE AND FEMALE AMENITIES FOR ADMIN BUILDING
8. PROPOSED FENCING CLARIFIED
9. RL INFORMATION ADDED
10. BRIDGE INFORMATION INCLUDED ON SEPARATE DRAWING
11. FACADE SCREENING TO MULTI STOREY CAR PARK ADDED
12. THE DRIVEWAY WIDTH AMENDED
13. DEMOLISHED TREES AMENDED

0m10m20m30m40m50m	
SCALE BAR 1:500 @ A1 ; 1: 1000 @ A3	
Drawing Title	
ROOF PLAN	
SHEET NUMBER	
1220026_ A007	
ISSUE	
J	

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DEVELOPMENT
APPLICATION

CLIENT

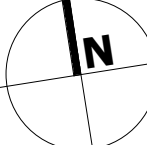


PROJECT PLANNER



PROJECT
PROPOSED BUSWAYS DEPOT
AND ANCILLARY FACILITIES
65 OWEN ST, GLENDEENING

NORTH POINT



Drawn	Checked	PRINT DATE
SA	HP	13/03/2023 9:15:31 AM



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12. THE DRIVEWAY WIDTH AMENDED
13. DEMOLISHED TREES AMENDED

NOTES

1. ALL FFL LEVELS $\pm 500\text{mm}$.
2. ALL LEVELS AND EXTENTS ARE INDICATIVE & SHOULD BE READ IN CONJUNCTION WITH CIVIL ENG. DWGS FOR FINAL LEVELS OF ALL EARTH WORKS AND EXCAVATION.
3. ALL LANDSCAPING TO LANDSCAPE ARCHITECT'S DETAILS.
4. ALL INFORMATION SUBJECT TO DETAILED DESIGN AND ENGINEERING INPUT.
5. ALL MEASUREMENTS OF EXISTING STRUCTURES ARE APPROXIMATE ONLY, AND TO BE CONFIRMED ON SITE.



SCALE BAR 1:200 @ A1 ; 1: 400 @ A3

Drawing Title

FLOOR PLANS - WORKSHOP

SHEET NUMBER
1220026 A101

ISSUE

H

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	E	DEVELOPMENT APPLICATION MOD	26.09.22	SA	MM
	F	DEVELOPMENT APPLICATION MOD	26.09.22	SA	MM
	G	REVISED DEVELOPMENT APPLICATION MOD	23.02.23	SA	MM
	H	REVISED DEVELOPMENT APPLICATION MOD	01.03.2023	SA	PM

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DEVELOPMENT APPLICATION

CLIENT



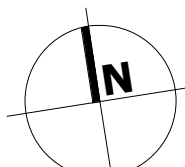
PROJECT PLANNER



PROJECT
PROPOSED BUSWAYS DEPOT
AND ANCILLARY FACILITIES
65 OWEN ST, GLENDENNING

Drawn	Checked	PRINT DATE
SA	HP	13/03/2023 9:15:36 AM

NORTH POINT



Drawing Title

FLOOR PLANS - WORKSHOP

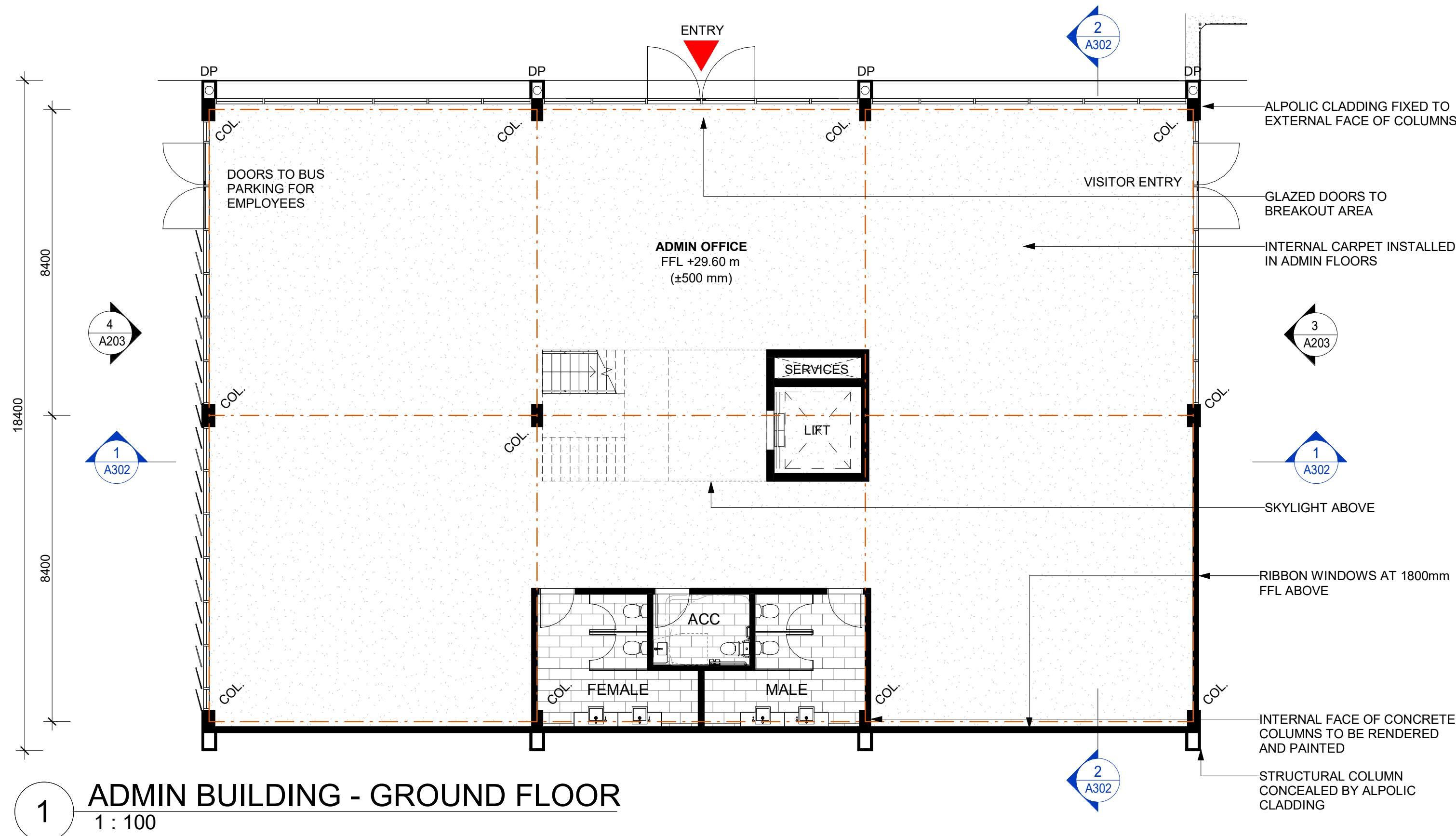
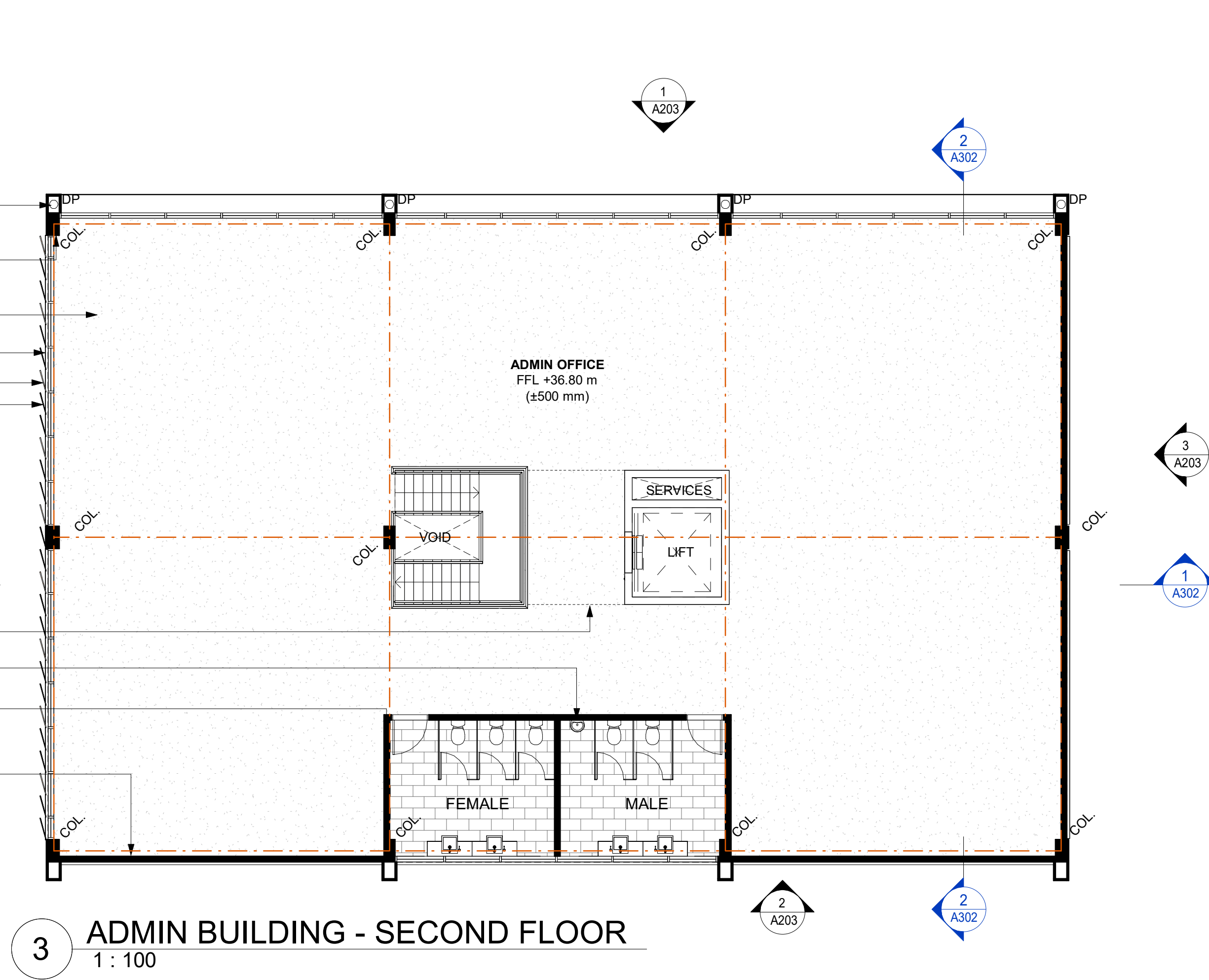
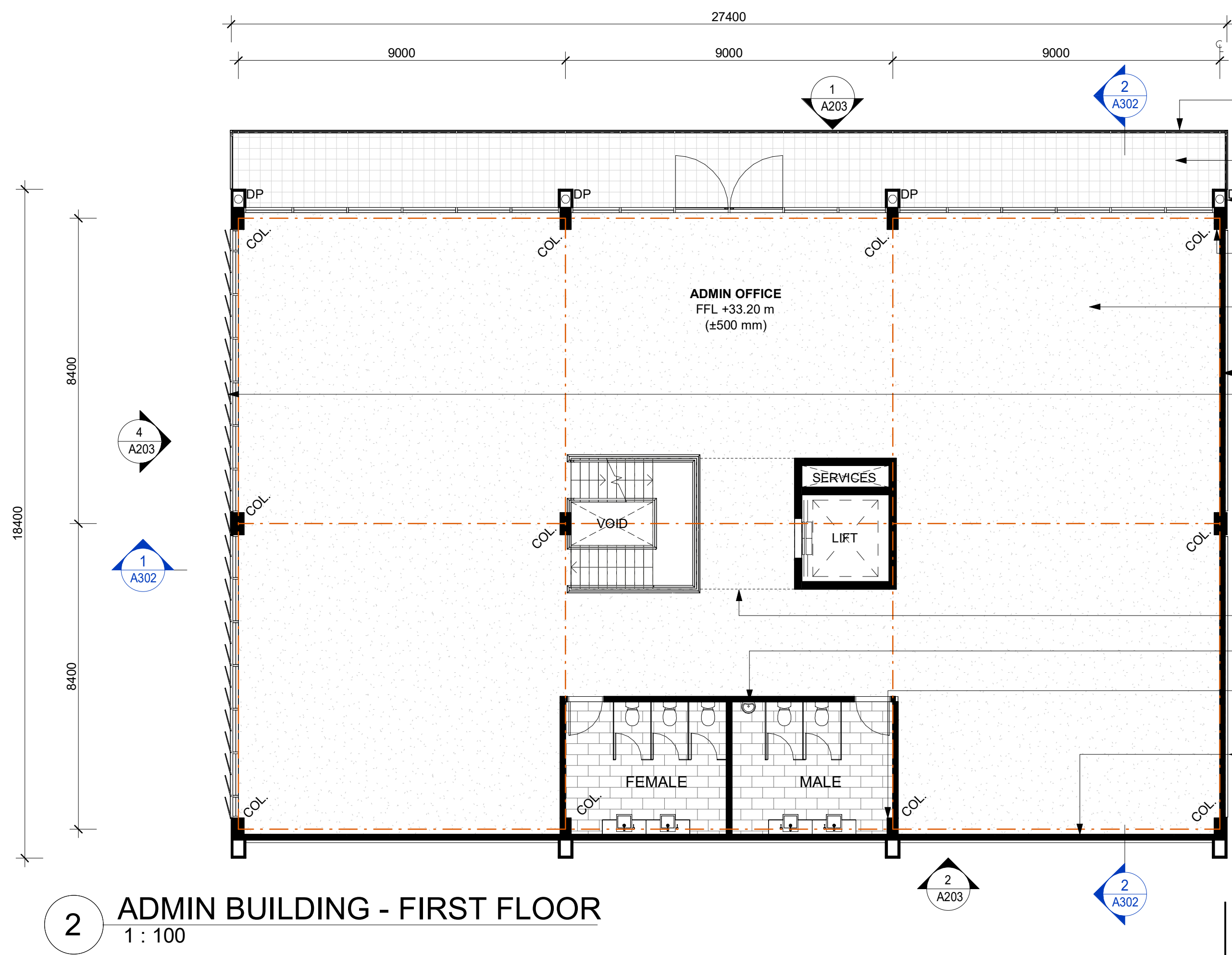
SHEET NUMBER

1220026 A101

ISSUE

H

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REVISION NOTES:

1. ACCESSIBLE PARKING AMENDED
2. CAR PARKING DIMENSIONS
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11. FACADE SCREENING TO MULTI STOREY CAR PARK ADDED
12. THE DRIVEWAY WIDTH AMENDED
13. DEMOLISHED TREES AMENDED

NOTES

1. ALL FFL LEVELS ± 500 mm.
2. ALL LEVELS AND EXTENTS ARE INDICATIVE & SHOULD BE READ IN CONJUNCTION WITH CIVIL ENG. DWGS FOR FINAL LEVELS OF ALL EARTH WORKS AND EXCAVATION.
3. ALL LANDSCAPING TO LANDSCAPE ARCHITECT'S DETAILS.
4. ALL INFORMATION SUBJECT TO DETAILED DESIGN AND ENGINEERING INPUT.
5. ALL MEASUREMENTS OF EXISTING STRUCTURES ARE APPROXIMATE ONLY, AND TO BE CONFIRMED ON SITE.

0m 2m 4m 6m 8m 10m

SCALE BAR 1:100 @ A1 ; 1: 200 @ A3

Notes
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Michael Morony NSWARB No. 8218

Issue	Description	Date	By	QA
A	FOR COORDINATION	09.09.2022	HP	MM
B	FOR COORDINATION	15.09.2022	HP	MM
C	DEVELOPMENT APPLICATION	27.09.2022	HP	MM
D	DEVELOPMENT APPLICATION	28.09.2022	HP	MM
E	DEVELOPMENT APPLICATION MOD	20.10.2022	SA	HP
F	REVISED DEVELOPMENT APPLICATION MOD	09.02.2023	SM	PM
G	REVISED DEVELOPMENT APPLICATION MOD	15.02.2023	SM	PM
H	REVISED DEVELOPMENT APPLICATION MOD	23.02.2023	SM	PM

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Fax: 61 02 9954 4946 Web: www.reidcampbell.com

DEVELOPMENT APPLICATION

CLIENT



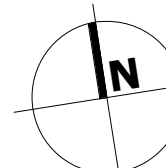
PROJECT PLANNER



PROJECT
PROPOSED BUSWAYS DEPOT
AND ANCILLARY FACILITIES
65 OWEN ST, GLENDEENING

Drawn Checked PRINT DATE
HP MM 13/03/2023 9:15:42 AM

NORTH POINT



Drawing Title
FLOOR PLANS - ADMIN BUILDING

SHEET NUMBER
1220026_A102

ISSUE
H



Notes	Issue	Description	Date	By	QA
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	D	DEVELOPMENT APPLICATION	28.08.02	HP	MM
	E	DEVELOPMENT APPLICATION	29.08.02	HP	MM
	F	DEVELOPMENT APPLICATION MOD	30.08.02	HP	MM
	F	DEVELOPMENT APPLICATION MOD	20.10.02	SA	PM
	G	REVISED DEVELOPMENT APPLICATION MOD	09.02.03	NS	PM
	G	REVISED DEVELOPMENT APPLICATION MOD	09.02.03	NS	PM
	J	REVISED DEVELOPMENT APPLICATION MOD	23.02.03	SM	PM
	K	REVISED DEVELOPMENT APPLICATION MOD	01.03.03	NS	PM
	K	REVISED DEVELOPMENT APPLICATION MOD	03.03.03	NS	PM
Michael Morton NSWARB No. 8218	N	REVISED DEVELOPMENT APPLICATION MOD	19.03.03	NS	PM
	N	REVISED DEVELOPMENT APPLICATION MOD	19.03.03	NS	PM

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DEVELOPMENT APPLICATION

CLIENT



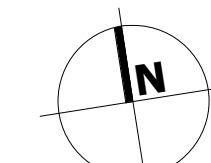
	PROJECT PLANNER
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PROJECT	PROPOSED BUSWAYS DEPOT AND ANCILLARY FACILITIES 65 OWEN ST, GLENDEENING
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Drawn	Checked	PRINT DATE
HP	MM	13/03/2023 9:15:48 AM

NORTH POINT

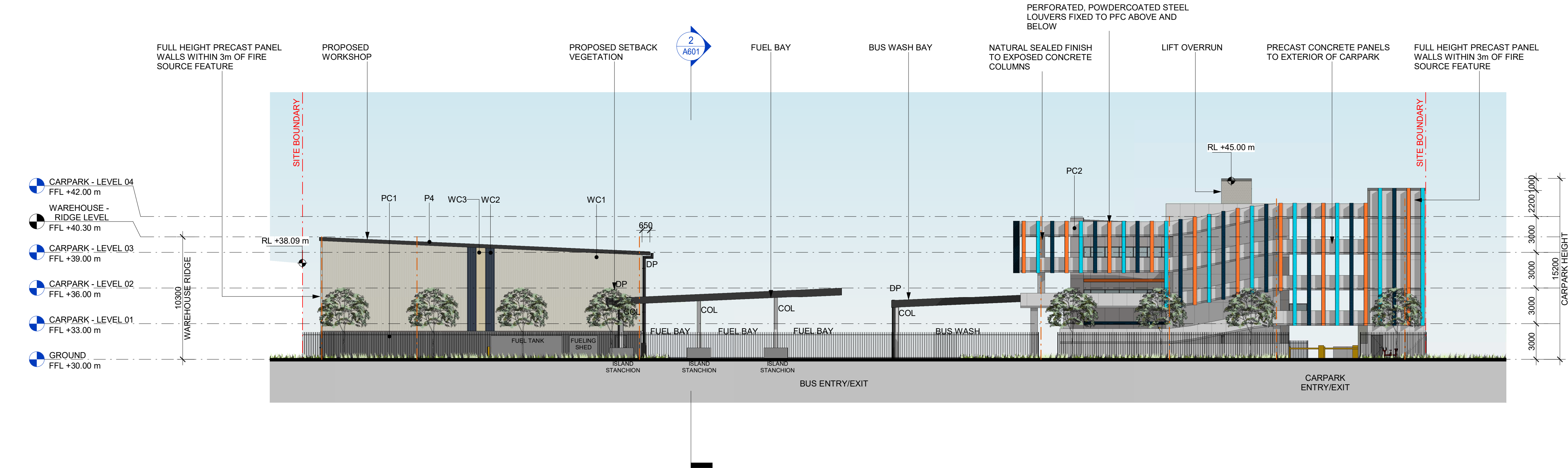


Drawing Title

FLOOR PLANS - CARPARK

SHEET NUMBER
1220026 A103

Autodesk Docs://1220026 65 Owen St Glendenning/1220026 65 OWEN ST GLENDENNING DD R23.r



REVISION NOTES:

- ACCESSIBLE PARKING AMENDED
- CAR PARKING DIMENSIONS
- BICYCLE PARKING ADDED
- PLANT SHADING THROUGHOUT CAR PARK ADDED
- AVERAGE 500MM LANDSCAPE SETBACK ALONG THE NORTHERN SIDE BOUNDARY ADDED
- BOLLARDS FOR FUEL STORAGE AREAS
- MALE AND FEMALE AMENITIES FOR ADMIN BUILDING
- PROPOSED FENCING CLARIFIED
- RL INFORMATION ADDED
- BRIDGE INFORMATION INCLUDED ON SEPARATE DRAWING
- FACADE SCREENING TO MULTI STOREY CAR PARK ADDED
- THE DRIVEWAY WIDTH AMENDED
- DEMOLISHED TREES AMENDED

FINISHES SCHEDULE

 CORE COLOUR SCHEME	 COLORBOND PROFILE ROOF SHEETING 'SURFMIST'
 COLORBOND PROFILE WALL SHEETING 'SURFMIST'	 TRANSLUCENT PROFILE ROOF SHEETING
 COLORBOND PROFILE WALL SHEETING 'DEEP OCEAN'	 POWDERCOATED FINISH CUSTOM DULUX COLOUR
 COLORBOND PROFILE WALL SHEETING 'CLASSIC CREAM'	 POWDERCOATED FINISH CUSTOM DULUX COLOUR
 ALPOLIC CLADDING	 POWDERCOATED FINISH CUSTOM DULUX COLOUR
 PRECAST PANEL NATURAL SEALED FINISH	 POWDERCOATED FINISH 'MONUMENT'
 PRECAST PANEL COATED FINISH	 CMU NATURAL SEALED FINISH
 TINTED CLEAR VISION GLAZING (LOW REFL.)	 SANDBLASTED GLAZING SPANDREL PANEL

NOTES

- ALL FFL LEVELS ±500mm.
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SCALE BAR 1:200 @ A1 ; 1: 400 @ A3

Drawing Title
STREET ELEVATION

SHEET NUMBER 1220026_ A201	ISSUE G
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Issue	Description	Date	By	QA
A	FOR COORDINATION	15.09.2022	HP	MM
B	DEVELOPMENT APPLICATION	27.09.2022	HP	MM
C	DEVELOPMENT APPLICATION	28.09.2022	HP	MM
D	DEVELOPMENT APPLICATION MOD	20.10.2022	SA	HP
E	REVISED DEVELOPMENT APPLICATION MOD	09.02.2023	SM	PM
F	REVISED DEVELOPMENT APPLICATION MOD	15.02.2023	SM	PM
G	REVISED DEVELOPMENT APPLICATION MOD	23.02.2023	SM	PM

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DEVELOPMENT APPLICATION

CLIENT



PROJECT PLANNER

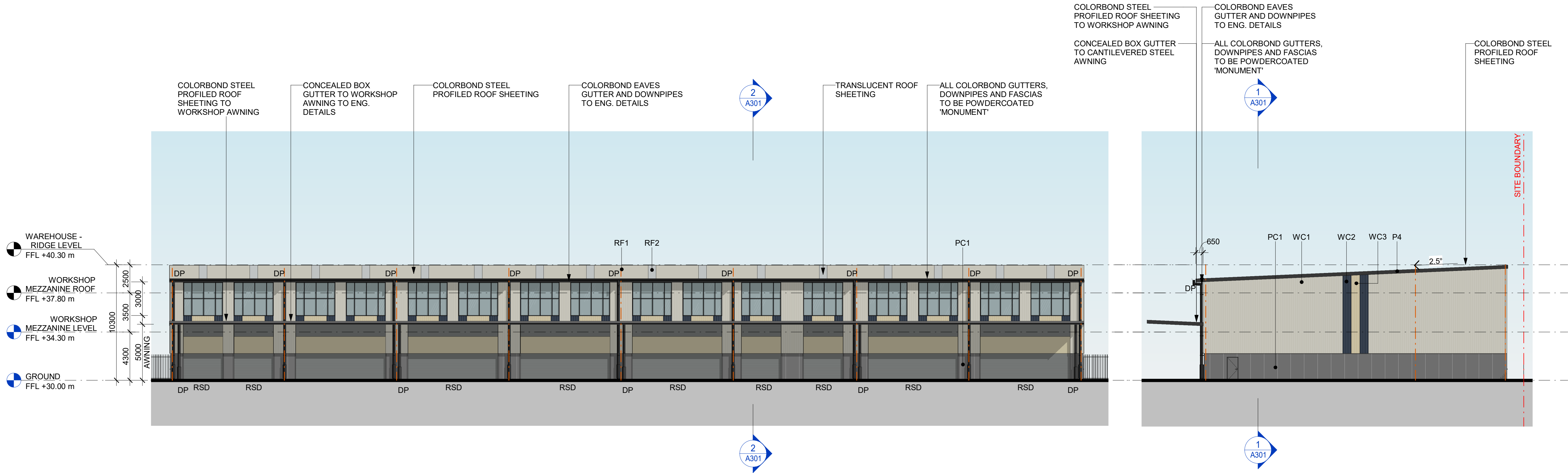


PROJECT
PROPOSED BUSWAYS DEPOT AND ANCILLARY FACILITIES
65 OWEN ST, GLENDENNING

Drawn	Checked	PRINT DATE
SA	HP	13/03/2023 9:15:56 AM

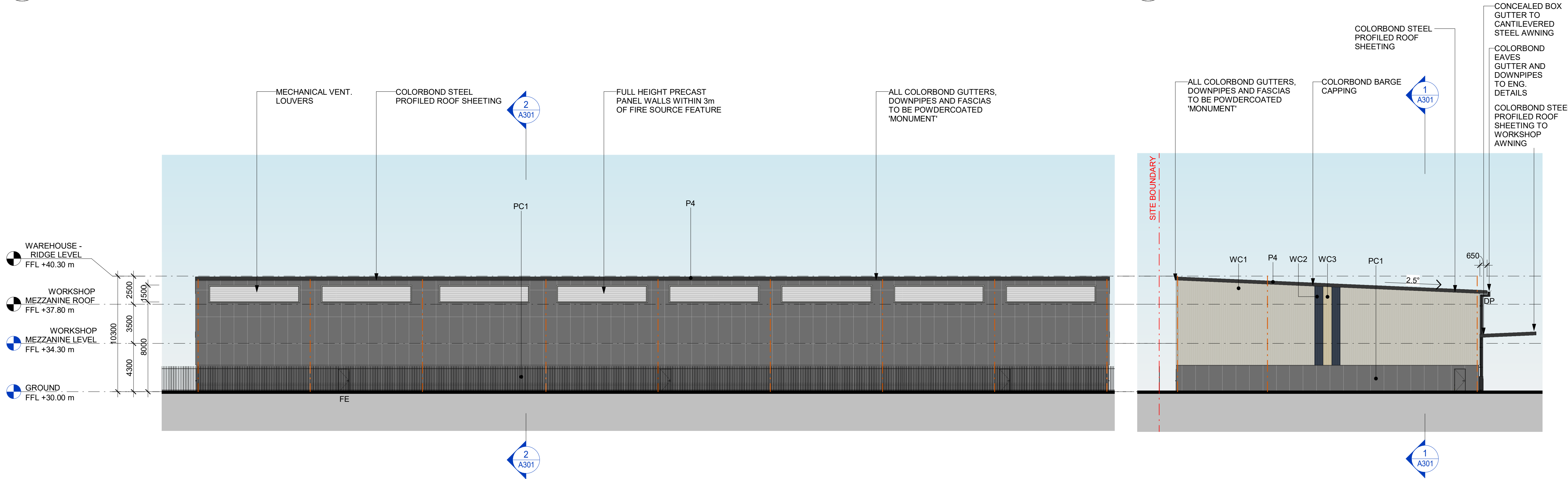
NORTH POINT

N/A



1 WAREHOUSE - NORTHERN ELEVATION
1 : 200

4 WAREHOUSE - WESTERN ELEVATION
1 : 200



2 WAREHOUSE - SOUTHERN ELEVATION
1 : 200

3 WAREHOUSE - EASTERN ELEVATION
1 : 200

REVISION NOTES:

- | | | |
|---|---|---|
| 1. ACCESSIBLE PARKING AMENDED | 6. BOLLARDS FOR FUEL STORAGE AREAS | 10. BRIDGE INFORMATION INCLUDED ON SEPARATE DRAWING |
| 2. CAR PARKING DIMENSIONS | 7. MALE AND FEMALE AMENITIES FOR ADMIN BUILDING | 11. FACADE SCREENING TO MULTI STOREY CAR PARK ADDED |
| 3. BICYCLE PARKING ADDED | 8. PROPOSED FENCING CLARIFIED | 12. THE DRIVEWAY WIDTH IS UPDATED |
| 4. PLANT SHADING THROUGHOUT CAR PARK ADDED | 9. RL INFORMATION ADDED | 13. DEMOLISHED TREES AMENDED |
| 5. AVERAGE 600MM LANDSCAPE SETBACK ALONG THE NORTHERN SIDE BOUNDARY ADDED | | |

FINISHES SCHEDULE

 CORE COLOUR SCHEME	 COLORBOND PROFILE ROOF SHEETING 'SURFMIST'
 COLORBOND PROFILE WALL SHEETING 'SURFMIST'	 TRANSLUCENT PROFILE ROOF SHEETING
 COLORBOND PROFILE WALL SHEETING 'DEEP OCEAN'	 POWDERCOATED FINISH CUSTOM DULUX COLOUR
 COLORBOND PROFILE WALL SHEETING 'CLASSIC CREAM'	 POWDERCOATED FINISH CUSTOM DULUX COLOUR
 ALPOLIC CLADDING	 POWDERCOATED FINISH CUSTOM DULUX COLOUR
 PRECAST PANEL NATURAL SEALED FINISH	 POWDERCOATED FINISH 'MONUMENT'
 PRECAST PANEL COATED FINISH	 CMU NATURAL SEALED FINISH
 TINTED CLEAR VISION GLAZING (LOW REFL.)	 SANDBLASTED GLAZING SPANDREL PANEL

NOTES

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SCALE BAR 1:200 @ A1 ; 1: 400 @ A3

Drawing Title
ELEVATIONS - WORKSHOP

SHEET NUMBER
1220026_ A202

ISSUE
F

Notes	Issue	Description	Date	By	QA
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-Contractor to verify all dimensions on site before commencing work.	B	DEVELOPMENT APPLICATION	27.09.2022	HP	MM
-Report all discrepancies to project manager prior to construction.	C	DEVELOPMENT APPLICATION	28.09.2022	HP	MM
-Figured dimensions to be taken in preference to scaled drawings.	D	DEVELOPMENT APPLICATION MOD	20.10.2022	SA	HP
-All work is to conform to relevant Australian Standards and other Codes as applicable, together with other Authorities' requirements and regulations.	E	REVISED DEVELOPMENT APPLICATION MOD	23.02.2023	SM	PM
	F	REVISED DEVELOPMENT APPLICATION MOD	01.03.2023	SM	PM

Michael Morony NSWARB No. 8218

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DEVELOPMENT
APPLICATION

CLIENT



PROJECT PLANNER

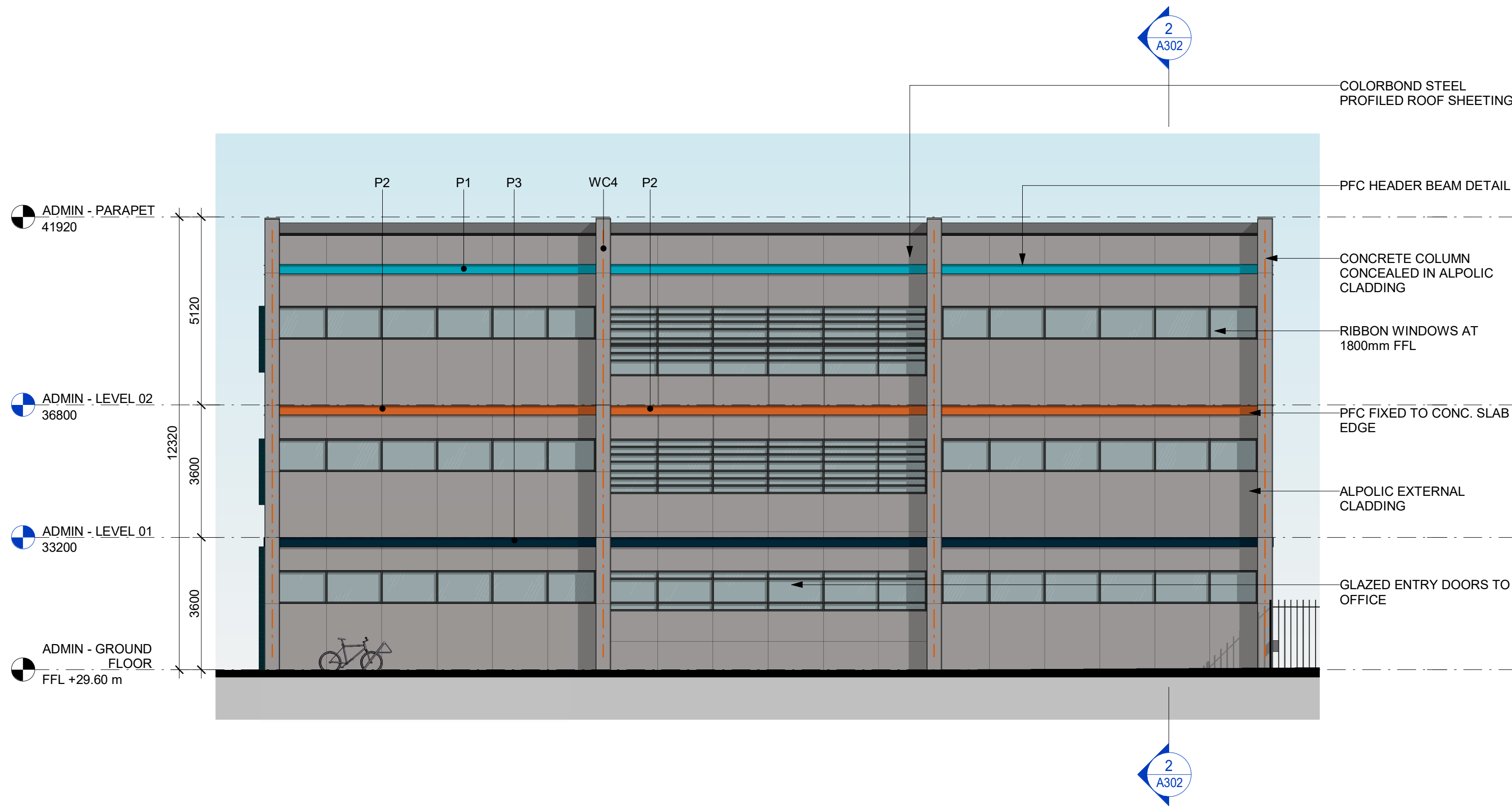


PROJECT
PROPOSED BUSWAYS DEPOT
AND ANCILLARY FACILITIES
65 OWEN ST, GLENDENNING

Drawn	Checked	PRINT DATE
SA	HP	13/03/2023 9:16:11 AM

NORTH POINT

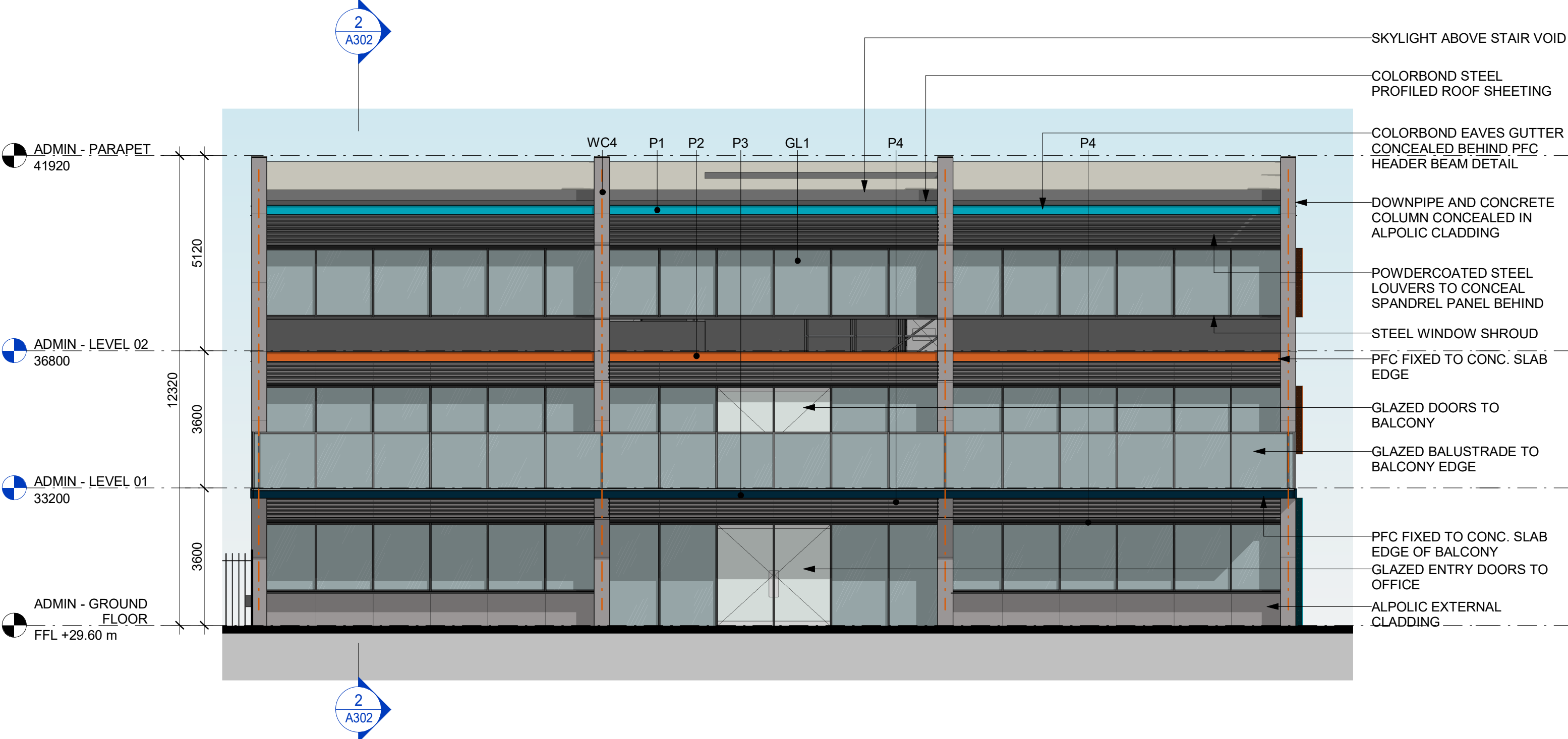
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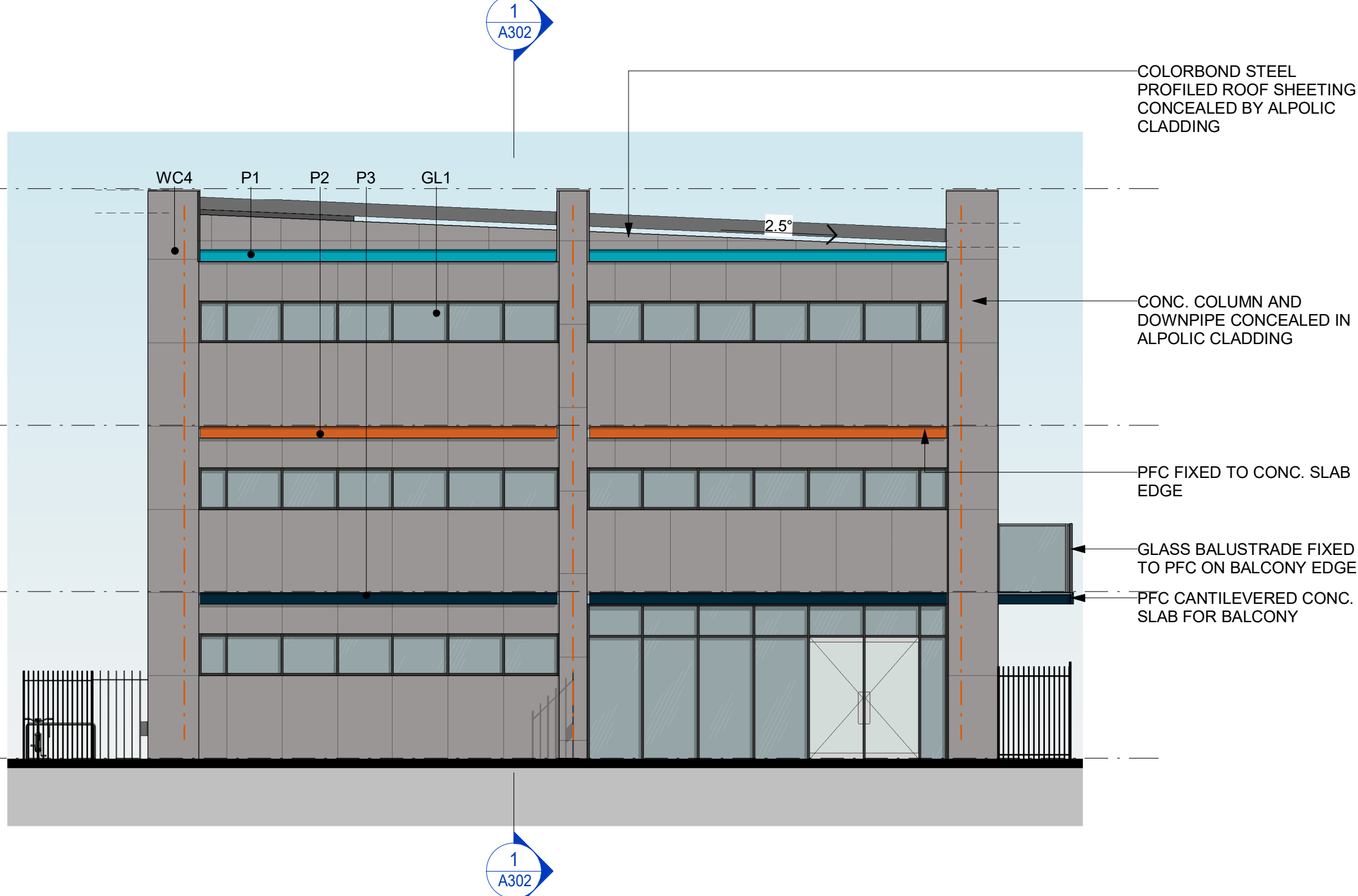
2 OFFICE - SOUTHERN ELEVATION
1 : 100



4 OFFICE - WESTERN ELEVATION
1 : 100



1 OFFICE - NORTHERN ELEVATION
1 : 100



3 OFFICE - EASTERN ELEVATION
1 : 100

REVISION NOTES:

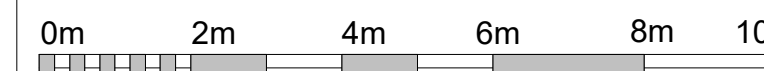
- | | | |
|---|---|---|
| 1. ACCESSIBLE PARKING AMENDED | 6. BOLLARDS FOR FUEL STORAGE AREAS | 10. BRIDGE INFORMATION INCLUDED ON SEPARATE DRAWING |
| 2. CAR PARKING DIMENSIONS | 7. MALE AND FEMALE AMENITIES FOR ADMIN BUILDING | 11. FACADE SCREENING TO MULTI STOREY CAR PARK ADDED |
| 3. BICYCLE PARKING ADDED | 8. PROPOSED FENCING CLARIFIED | 12. THE DRIVEWAY WIDTH IS UPDATED |
| 4. PLANT SHADING THROUGHOUT CAR PARK ADDED | 9. RL INFORMATION ADDED | 13. DEMOLISHED TREES AMENDED |
| 5. AVERAGE 500MM LANDSCAPE SETBACK ALONG THE NORTHERN SIDE BOUNDARY ADDED | | |

FINISHES SCHEDULE

 CORE COLOUR SCHEME	 COLORBOND PROFILE ROOF SHEETING 'SURFMIST'
 COLORBOND PROFILE WALL SHEETING 'SURFMIST'	 TRANSLUCENT PROFILE ROOF SHEETING
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NOTES

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SCALE BAR 1:100 @ A1 ; 1: 200 @ A3

Issue	Description	Date	By	QA
A	FOR COORDINATION	15.09.2022	HP	MM
B	DEVELOPMENT APPLICATION	27.09.2022	HP	MM
C	DEVELOPMENT APPLICATION	28.09.2022	HP	MM
D	DEVELOPMENT APPLICATION MOD	20.10.2022	SA	HP
E	REVISED DEVELOPMENT APPLICATION MOD	23.02.2023	SM	PM

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Michael Morony NSWARB No. 8218

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DEVELOPMENT
APPLICATION

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PROJECT PLANNER



PROJECT
PROPOSED BUSWAYS DEPOT
AND ANCILLARY FACILITIES
65 OWEN ST, GLENDEENING

Drawn	Checked	PRINT DATE
HP	MM	13/03/2023 9:16:27 AM

NORTH POINT

N/A

Drawing Title

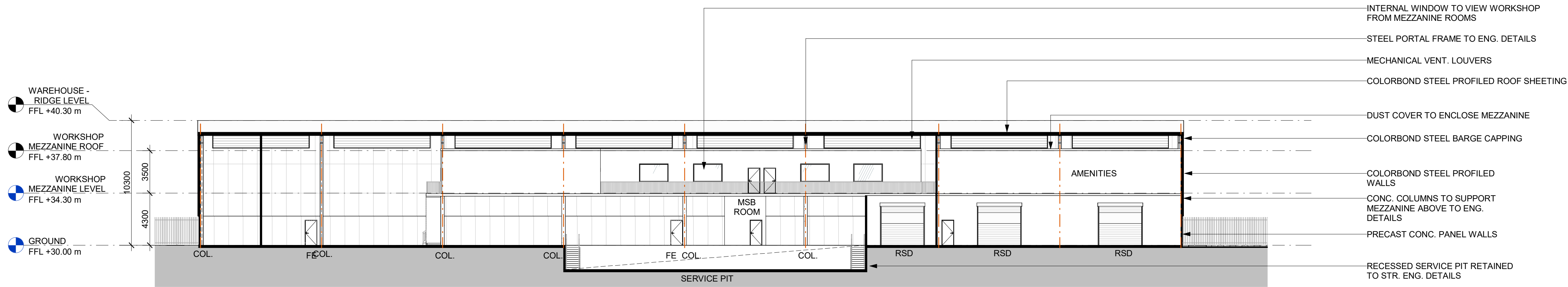
ELEVATIONS - ADMIN BUILDING

SHEET NUMBER

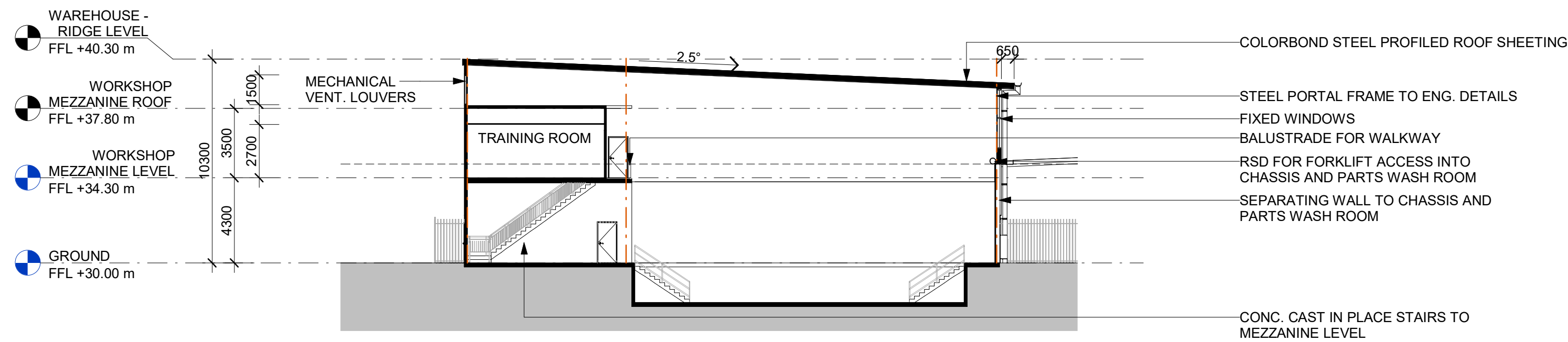
1220026_ A203

ISSUE

E



1 WORKSHOP - SECTION AA
1 : 200



2 WORKSHOP - SECTION BB
1 : 200

REVISION NOTES:

1. ACCESSIBLE PARKING AMENDED
2. CAR PARKING DIMENSIONS
3. BICYCLE PARKING ADDED
4. PLANT SHADING THROUGHOUT CAR PARK ADDED
5. AVERAGE 500MM LANDSCAPE SETBACK ALONG THE NORTHERN SIDE BOUNDARY ADDED
6. BOLLARDS FOR FUEL STORAGE AREAS
7. MALE AND FEMALE AMENITIES FOR ADMIN BUILDING
8. PROPOSED FENCING CLARIFIED
9. RL INFORMATION ADDED
10. BRIDGE INFORMATION INCLUDED ON SEPARATE DRAWING
11. FACADE SCREENING TO MULTI STOREY CAR PARK ADDED
12. THE DRIVEWAY WIDTH AMENDED
13. DEMOLISHED TREES AMENDED

NOTES

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0m 4m 8m 12m 16m 20m

SCALE BAR 1:200 @ A1 ; 1: 400 @ A3

Notes					
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Michael Morony NSWARB No. 8218					
Issue	Description	Date	By	QA	
A	FOR COORDINATION	15.09.2022	HP	MM	
B	DEVELOPMENT APPLICATION	27.09.2022	HP	MM	
C	DEVELOPMENT APPLICATION	28.09.2022	HP	MM	
D	DEVELOPMENT APPLICATION MOD	20.10.2022	SA	HP	
E	REVISED DEVELOPMENT APPLICATION MOD	23.02.2023	SM	PM	
F	REVISED DEVELOPMENT APPLICATION MOD	01.03.2023	SM	PM	

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DEVELOPMENT
APPLICATION

CLIENT



PROJECT PLANNER



PROJECT
PROPOSED BUSWAYS DEPOT
AND ANCILLARY FACILITIES
65 OWEN ST, GLENDENNING

NORTH POINT

N/A

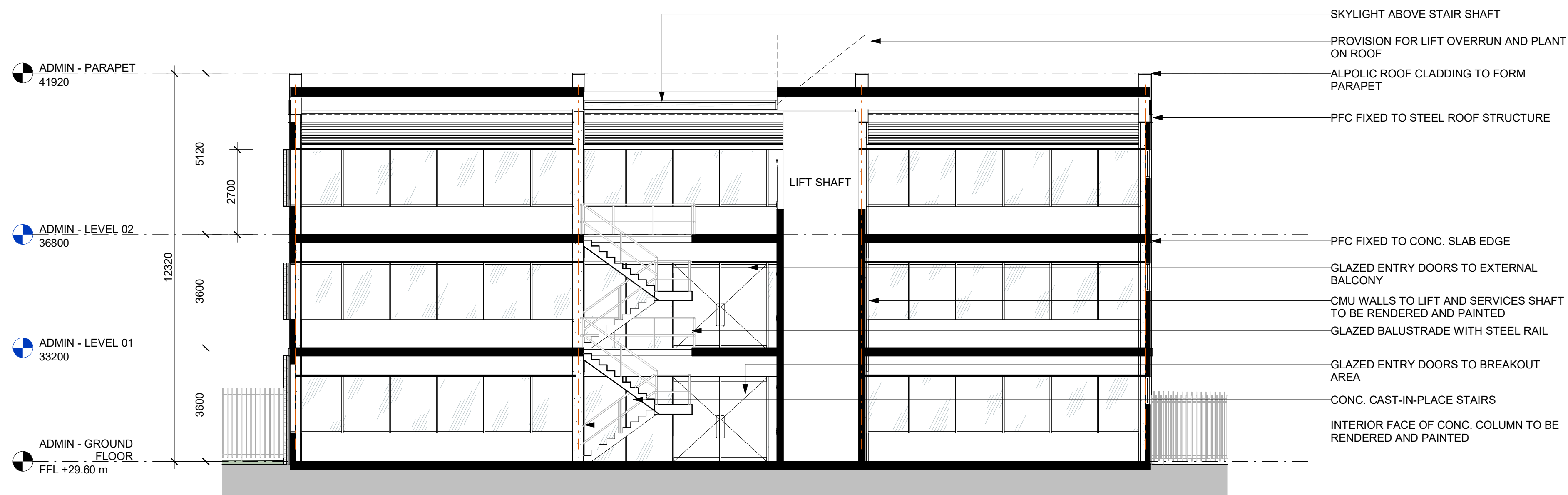
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Drawing Title
SECTIONS - WORKSHOP

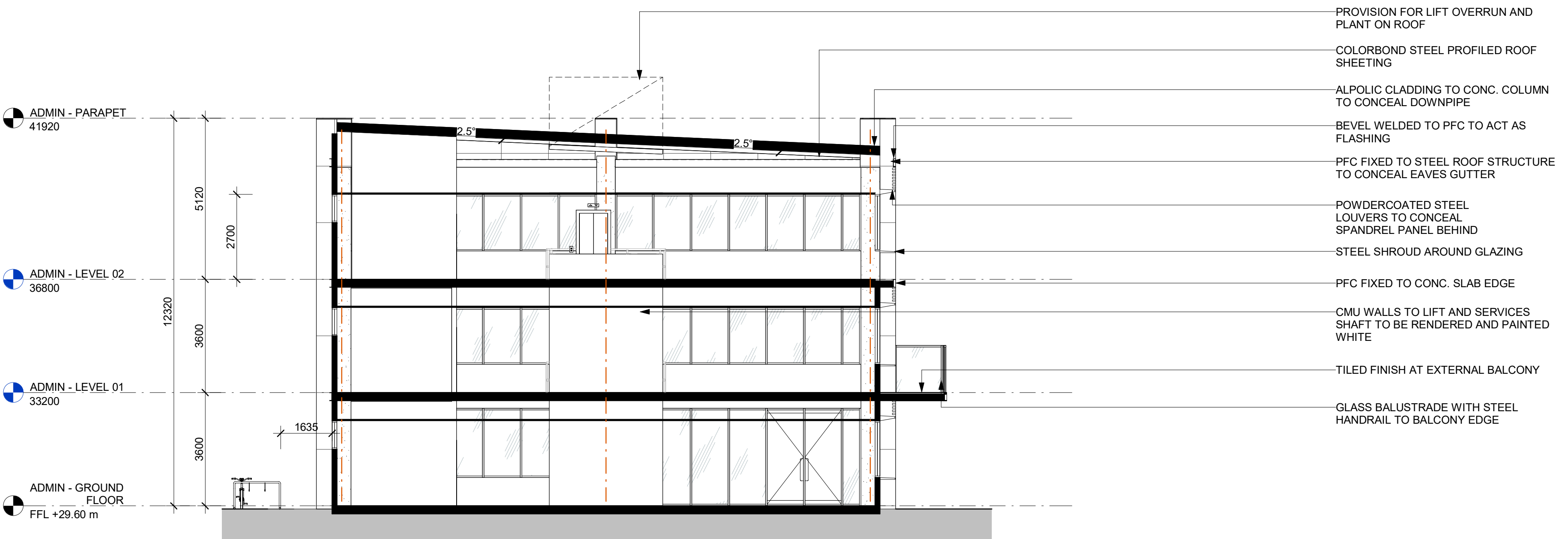
SHEET NUMBER
1220026_A301

ISSUE

F



1 ADMIN BUILDING - SECTION AA
1 : 100



2 ADMIN BUILDING - SECTION BB
1 : 100

REVISION NOTES:

1. ACCESSIBLE PARKING AMENDED
2. CAR PARKING DIMENSIONS
3. BICYCLE PARKING ADDED
4. PLANT SHADING THROUGHOUT CAR PARK ADDED
5. AVERAGE 500MM LANDSCAPE SETBACK ALONG THE NORTHERN SIDE BOUNDARY ADDED
6. BOLLARDS FOR FUEL STORAGE AREAS
7. MALE AND FEMALE AMENITIES FOR ADMIN BUILDING
8. PROPOSED FENCING CLARIFIED
9. RL INFORMATION ADDED
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11. FACADE SCREENING TO MULTI STOREY CAR PARK ADDED
12. THE DRIVEWAY WIDTH AMENDED
13. DEMOLISHED TREES AMENDED

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0m 2m 4m 6m 8m 10m

SCALE BAR 1:100 @ A1 ; 1: 200 @ A3

Notes	Issue	Description	Date	By	QA
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	B	DEVELOPMENT APPLICATION	27.09.2022	HP	MM
	C	DEVELOPMENT APPLICATION	28.09.2022	HP	MM
	D	DEVELOPMENT APPLICATION MOD	20.10.2022	SA	HP
	E	REVISED DEVELOPMENT APPLICATION MOD	09.02.2023	SM	PM
	F	REVISED DEVELOPMENT APPLICATION MOD	15.02.2023	SM	PM
	G	REVISED DEVELOPMENT APPLICATION MOD	23.02.2023	SM	PM
	H	REVISED DEVELOPMENT APPLICATION MOD	01.03.2023	SM	PM

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DEVELOPMENT
APPLICATION

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PROJECT PLANNER



PROJECT
PROPOSED BUSWAYS DEPOT
AND ANCILLARY FACILITIES
65 OWEN ST, GLENDENNING

Drawn	Checked	PRINT DATE
HP	MF	13/03/2023 9:16:44 AM

NORTH POINT

N/A

Drawing Title

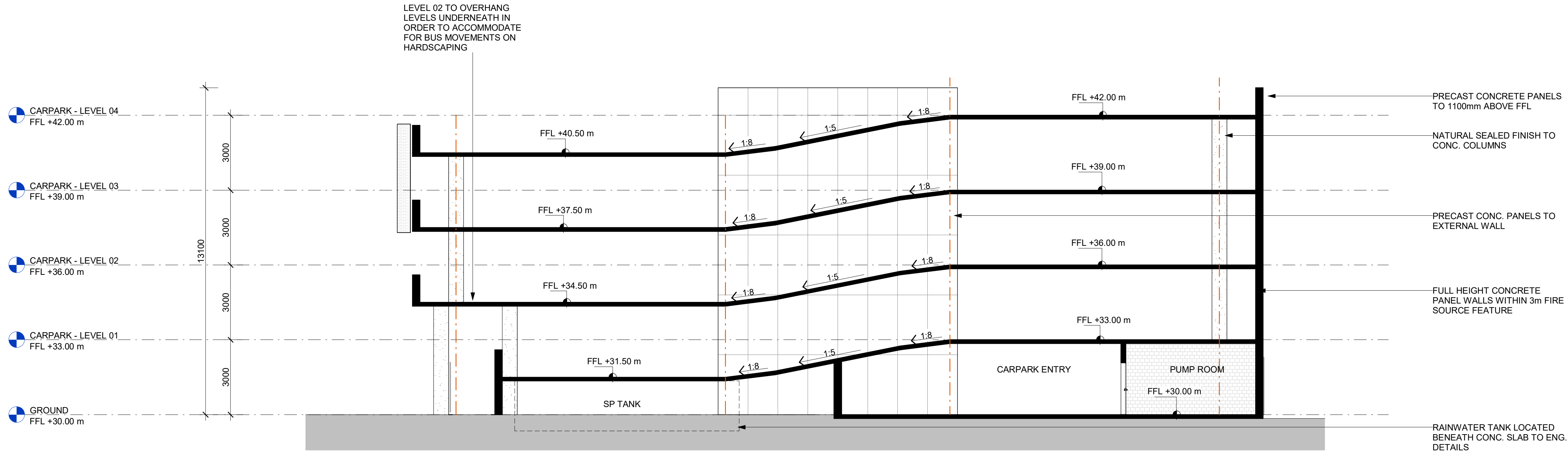
SECTIONS - ADMIN BUILDING

SHEET NUMBER

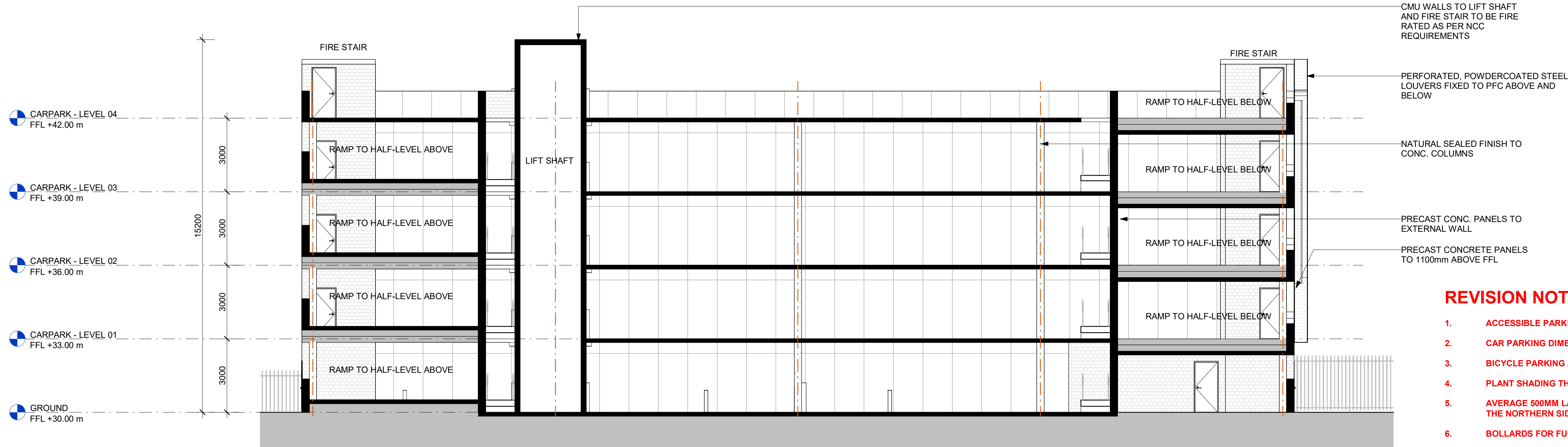
1220026_ A302

ISSUE

H



1 CARPARK - SECTION AA
1 : 100



2 CARPARK - SECTION BB
1 : 100

REVISION NOTES:

- ACCESSIBLE PARKING AMENDED
- CAR PARKING DIMENSIONS
- BICYCLE PARKING ADDED
- PLANT SHADING THROUGHOUT CAR PARK ADDED
- AVERAGE 500MM LANDSCAPE SETBACK ALONG THE NORTHERN SIDE BOUNDARY ADDED
- BOLLARDS FOR FUEL STORAGE AREAS
- MALE AND FEMALE AMENITIES FOR ADMIN BUILDING
- PROPOSED FENCING CLARIFIED
- RL INFORMATION ADDED
- BRIDGE INFORMATION INCLUDED ON SEPARATE DRAWING
- FACADE SCREENING TO MULTI STOREY CAR PARK ADDED
- THE DRIVEWAY WIDTH AMENDED
- DEMOLISHED TREES AMENDED

NOTES

- ALL FFL LEVELS $\pm 500\text{mm}$.
- ALL LEVELS AND EXTENTS ARE INDICATIVE & SHOULD BE READ IN CONJUNCTION WITH CIVIL ENG. DWGS FOR FINAL LEVELS OF ALL EARTH WORKS AND EXCAVATION.
- ALL LANDSCAPING TO LANDSCAPE ARCHITECT'S DETAILS.
- ALL INFORMATION SUBJECT TO DETAILED DESIGN AND ENGINEERING INPUT.
- ALL MEASUREMENTS OF EXISTING STRUCTURES ARE APPROXIMATE ONLY, AND TO BE CONFIRMED ON SITE.



SCALE BAR 1:100 @ A1 ; 1: 200 @ A3

Notes				
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-Figured dimensions to be taken in preference to scaled drawings.				
-All work is to conform to relevant Australian Standards and other Codes as applicable, together with other Authorities' requirements and regulations.				
Michael Morony NSWARB No. 8218				

Issue	Description	Date	By	QA
A	FOR COORDINATION	15.09.2022	HP	MM
B	DEVELOPMENT APPLICATION	27.09.2022	HP	MM
C	DEVELOPMENT APPLICATION	28.09.2022	HP	MM
D	DEVELOPMENT APPLICATION MOD	20.10.2022	SA	HP
E	REVISED DEVELOPMENT APPLICATION MOD	09.02.2023	SM	PM
F	REVISED DEVELOPMENT APPLICATION MOD	15.02.2023	SM	PM
G	REVISED DEVELOPMENT APPLICATION MOD	23.02.2023	SM	PM
H	REVISED DEVELOPMENT APPLICATION MOD	01.03.2023	SM	PM

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Fax: 61 02 9954 4946 Web: www.reidcampbell.com

DEVELOPMENT
APPLICATION

CLIENT



PROJECT PLANNER



PROJECT
PROPOSED BUSWAYS DEPOT
AND ANCILLARY FACILITIES
65 OWEN ST, GLENDENNING

NORTH POINT

N/A

Drawn	Checked	PRINT DATE
HP	MF	13/03/2023 9:16:48 AM

Drawing Title

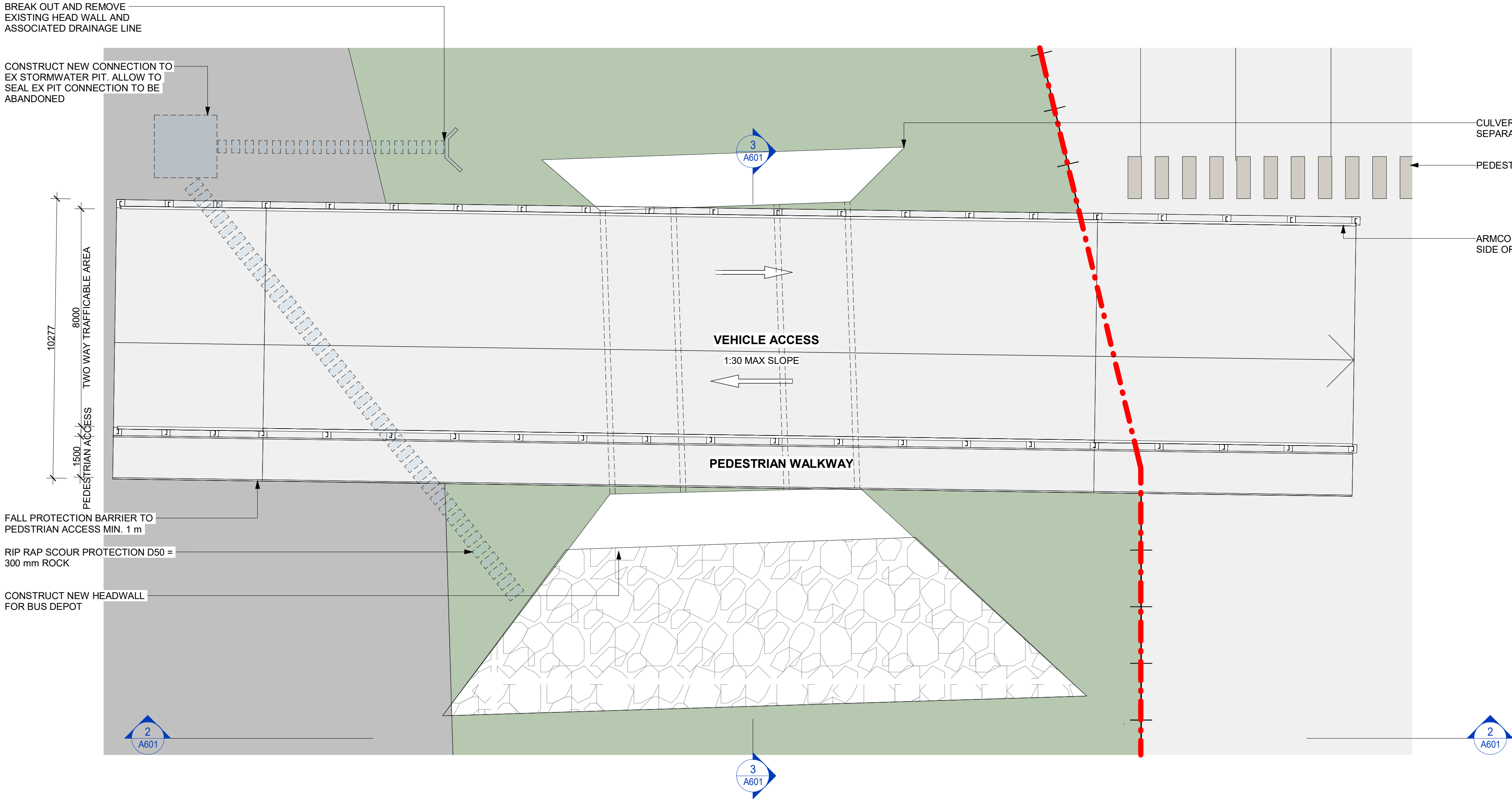
SECTIONS - CARPARK

SHEET NUMBER

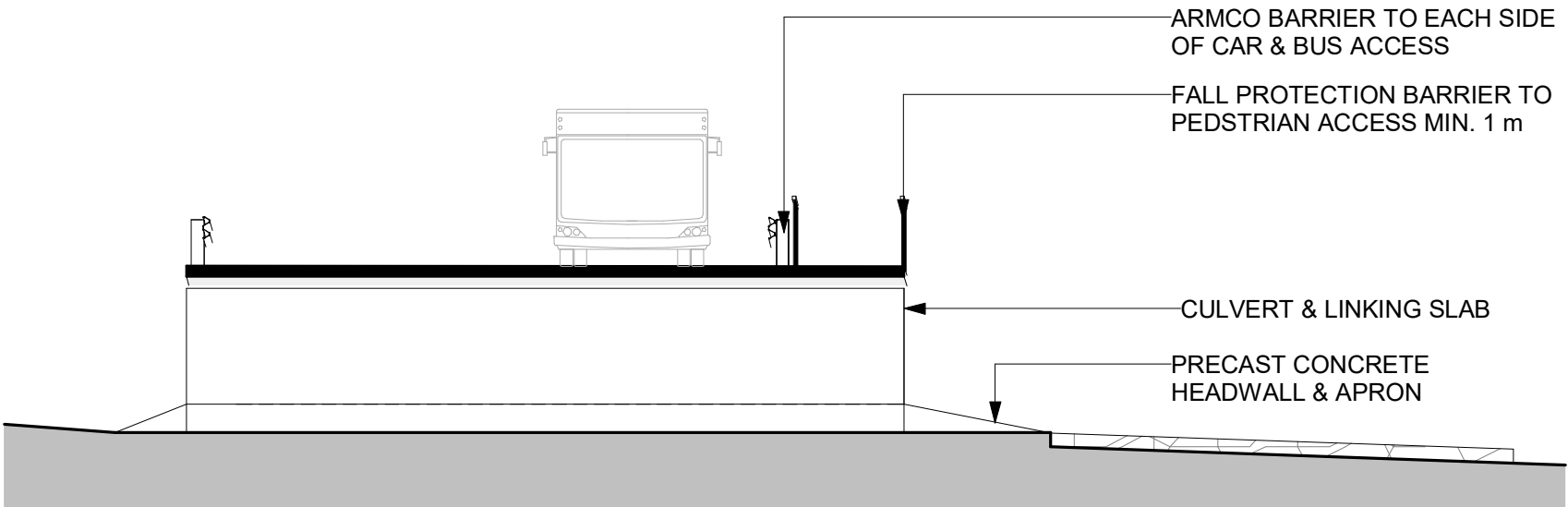
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ISSUE

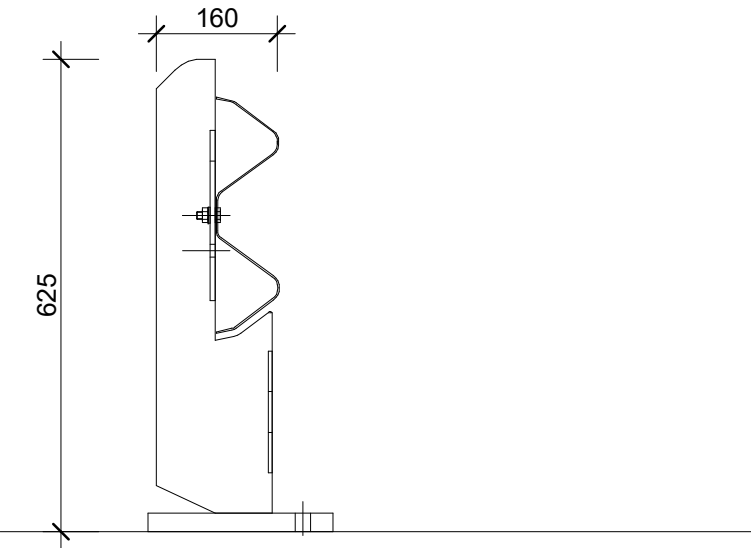
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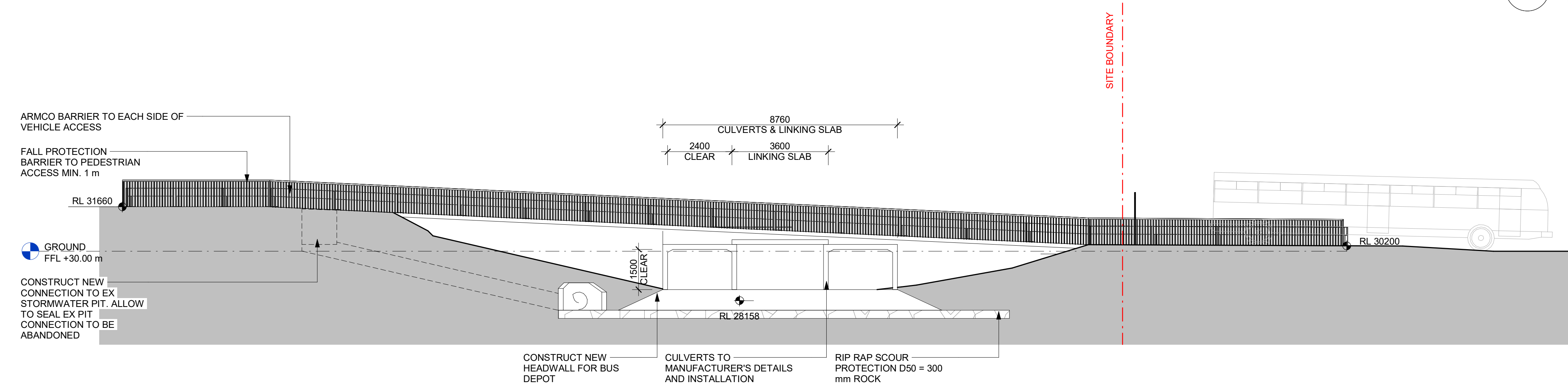
1 BRIDGE PLAN
1 : 100



3 BRIDGE SECTION
1 : 100



4 ARMCO BARRIER DETAIL
1 : 10



2 BRIDGE ELEVATION
1 : 100

REVISION NOTES:

- ACCESSIBLE PARKING AMENDED
- CAR PARKING DIMENSIONS
- BICYCLE PARKING ADDED
- PLANT SHADING THROUGHOUT CAR PARK ADDED
- AVERAGE 500MM LANDSCAPE SETBACK ALONG THE NORTHERN SIDE BOUNDARY ADDED
- BOLLARDS FOR FUEL STORAGE AREAS
- MALE AND FEMALE AMENITIES FOR ADMIN BUILDING
- PROPOSED FENCING CLARIFIED
- RL INFORMATION ADDED
- BRIDGE INFORMATION INCLUDED ON SEPARATE DRAWING
- FACADE SCREENING TO MULTI STOREY CAR PARK ADDED
- THE DRIVEWAY WIDTH AMENDED
- DEMOLISHED TREES AMENDED

NOTES

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- ALL LEVELS AND EXTENTS ARE INDICATIVE & SHOULD BE READ IN CONJUNCTION WITH CIVIL ENG. DWGS FOR FINAL LEVELS OF ALL EARTH WORKS AND EXCAVATION.
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0m 2m 4m 6m 8m 10m

SCALE BAR 1:100 @ A1 ; 1: 200 @ A3

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Michael Morony NSWARB No. 8218				

Issue	Description	Date	By	QA
A	REVISED DEVELOPMENT APPLICATION MOD	09.02.2023	SM	PM
B	REVISED DEVELOPMENT APPLICATION MOD	15.02.2023	SM	PM
C	REVISED DEVELOPMENT APPLICATION MOD	01.03.2023	SM	PM

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DEVELOPMENT
APPLICATION

CLIENT



PROJECT PLANNER



PROJECT
PROPOSED BUSWAYS DEPOT
AND ANCILLARY FACILITIES
65 OWEN ST, GLENDENNING

Drawn	Checked	PRINT DATE
HP	MF	13/03/2023 9:16:52 AM

NORTH POINT

N/A

Drawing Title
BRIDGE

SHEET NUMBER
1220026_A601

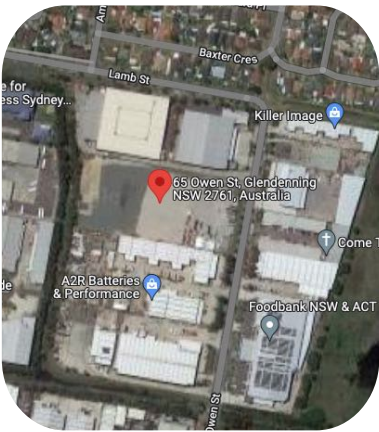
ISSUE
C

LANDSCAPE DA

65 OWEN STREET, GLENDENNING

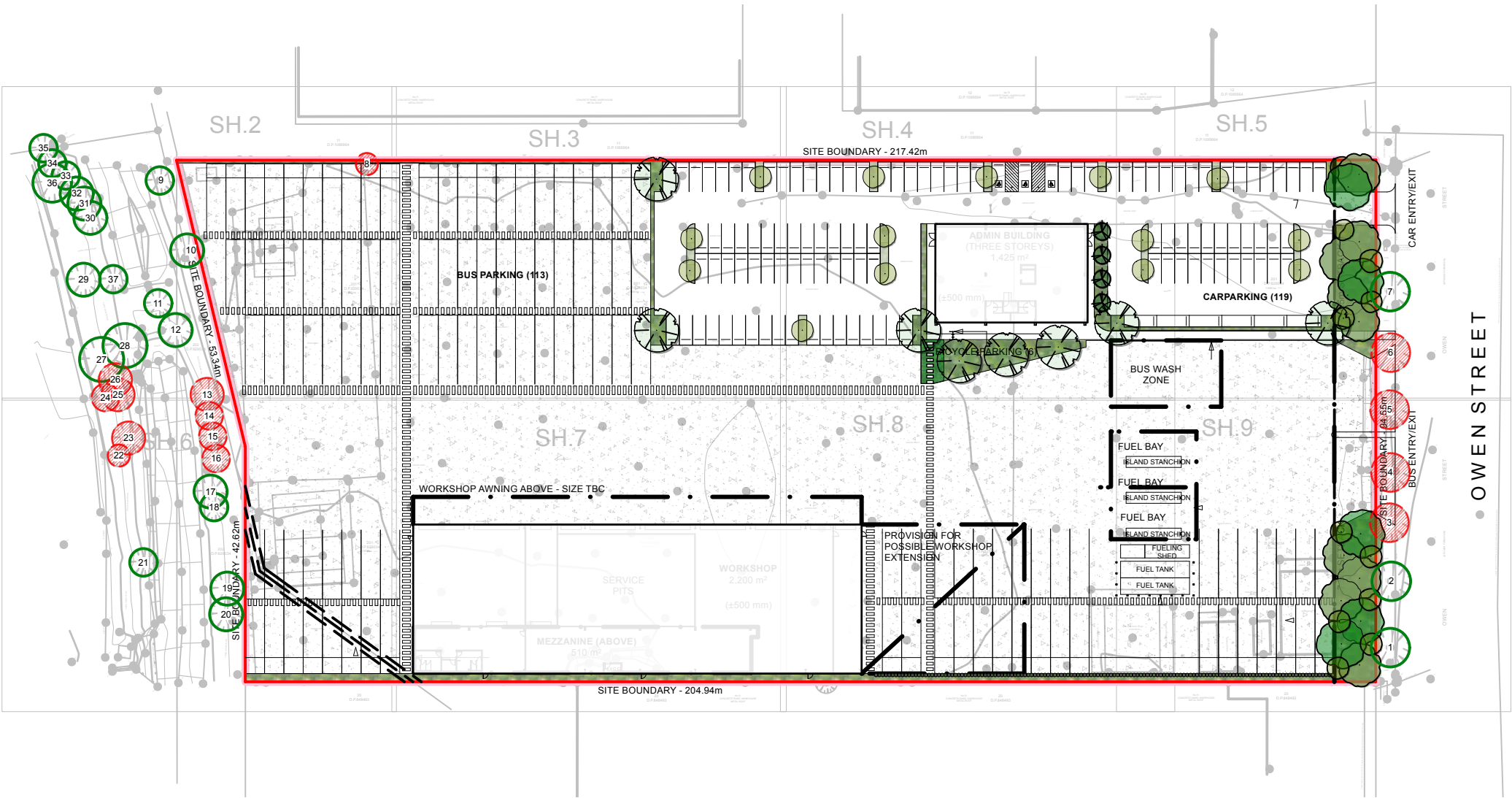
Drawing List

Sheet No.	Sheet Name	Sheet Size	Rev. No.	Rev. Date
L-01	COVER SHEET	A3	D	3/3/23
L-02	STAGE 1	A3	D	3/3/23
L-03	STAGE 2	A3	D	3/3/23
L-04	STAGE 3	A3	D	3/3/23
L-05	PLANTING DETAILS	A3	D	3/3/23
L-06	EXISTING TREE	A3	D	3/3/23
L-07	NOTES	A3	D	3/3/23
L-08	SPECIFICATION	A3	D	3/3/23



LEGEND

- SITE BOUNDARY
- EXISTING TREES RETAINED
- TREES TO BE REMOVED
- GARDEN: DEEP SOIL
- PROPOSED TREES (Refer plant schedule)
- PROPOSED PLANTING (Refer plant schedule)
- PAVING (Concrete)



GENERAL NOTES

All work & materials to be carried out in accordance with the Building Code of Australia, all Local and State Government ordinances, relevant Australian Standards, local authorities regulations and all other relevant Authorities concerned. All structural work and site drainage to be subject to Engineer's details or certification where required by Council.

NOTE
Do not scale off the drawings unless otherwise stated and use figured dimensions in preference. All dimensions are to be checked and verified on site before the commencement of any work, all dimensions and levels are subject to final survey and set-out. No responsibility will be accepted by Site Design for any variations in design, builder's method of construction or materials used, deviation from specification without permission or accepted work practices resulting in inferior construction. Locate and protect all services prior to construction.








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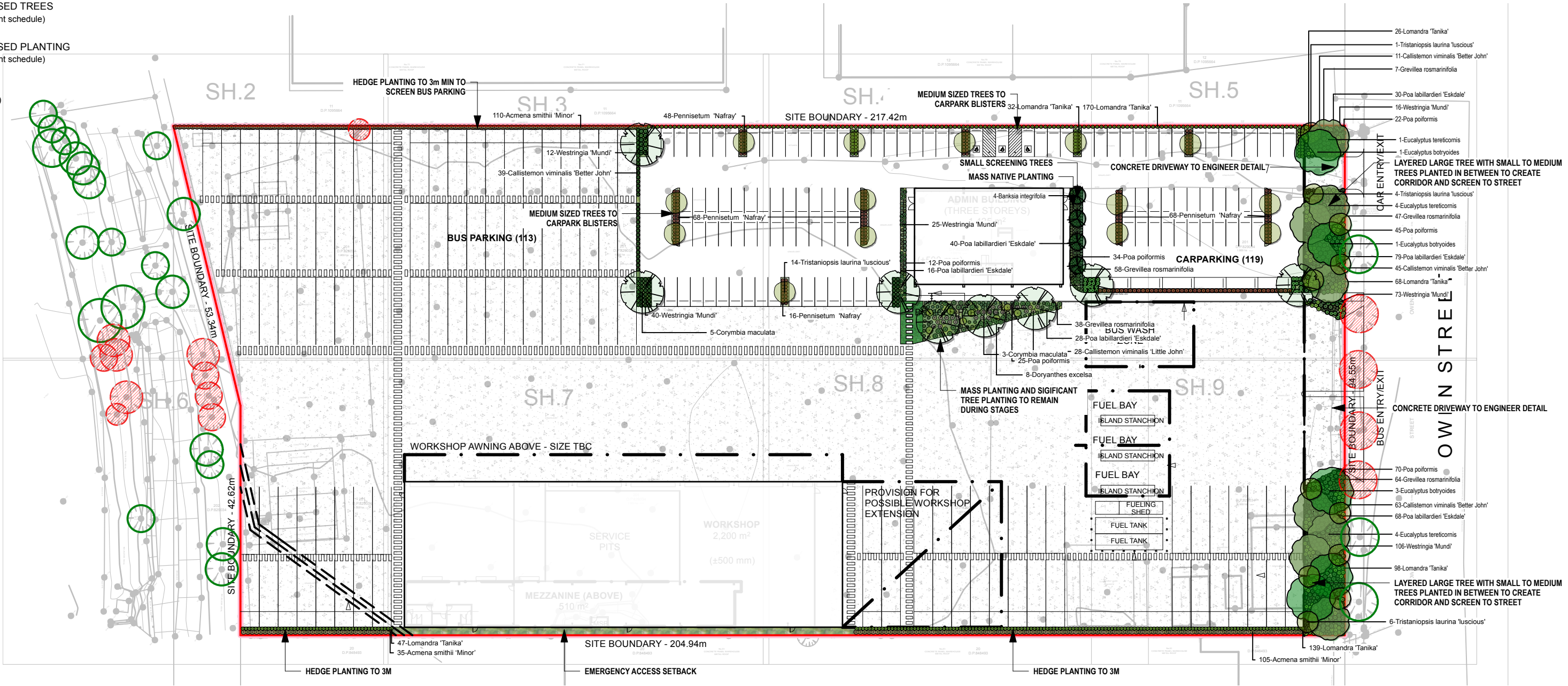


1:1000 @ A3



LEGEND

-  SITE BOUNDARY
-  EXISTING TREES RETAINED
-  TREES TO BE REMOVED
-  GARDEN: DEEP SOIL
-  PROPOSED TREES
(Refer plant schedule)
-  PROPOSED PLANTING
(Refer plant schedule)
-  PAVING
(Concrete)










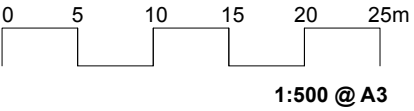
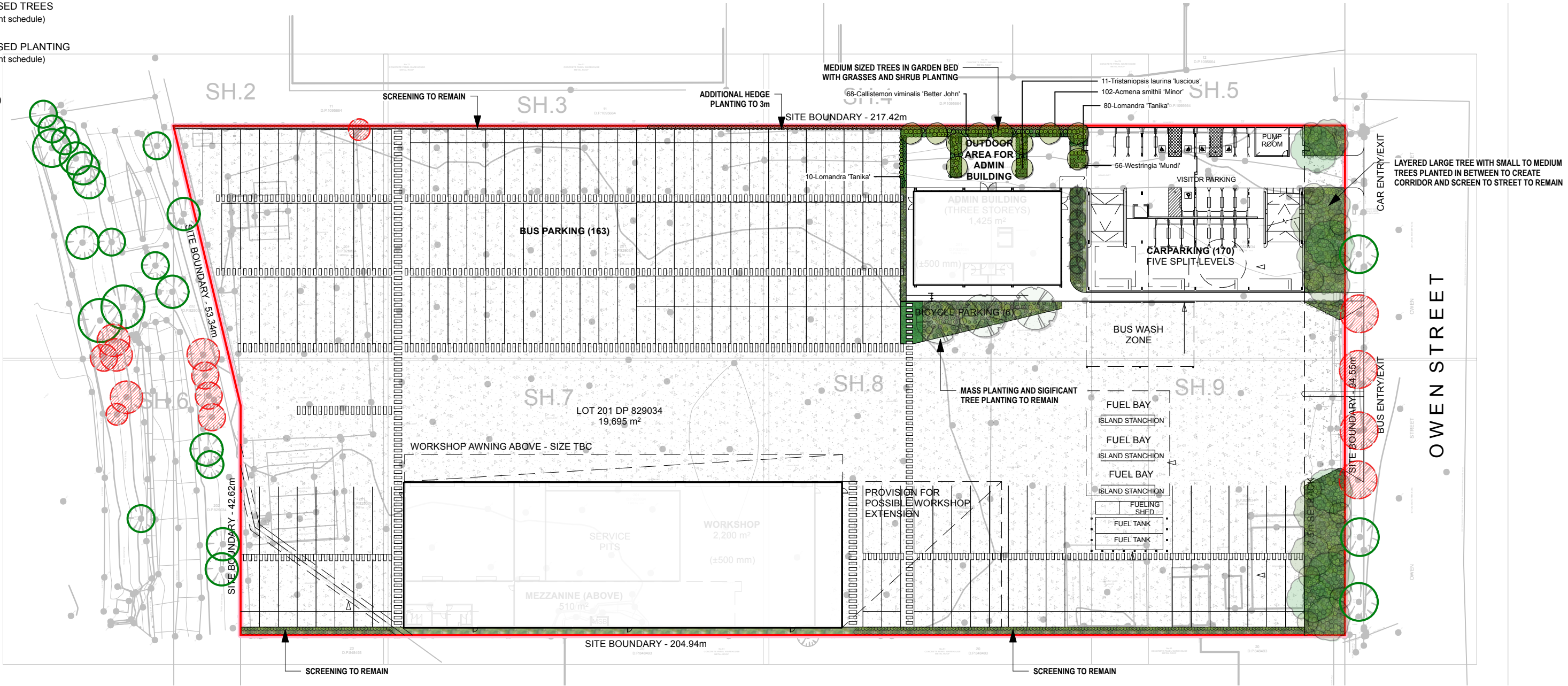
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Drawing Title	STAGE 1	Scale	1 : 500@A3



D	3/3/23	UPDATED FOR COUNCIL SUBMISSION
ISSUE	DATE	COMMENT
REVISIONS		

LEGEND

-  SITE BOUNDARY
-  EXISTING TREES RETAINED
-  TREES TO BE REMOVED
-  GARDEN: DEEP SOIL
-  PROPOSED TREES
(Refer plant schedule)
-  PROPOSED PLANTING
(Refer plant schedule)
-  PAVING
(Concrete)










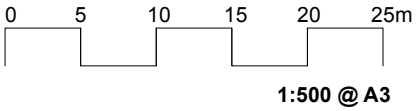
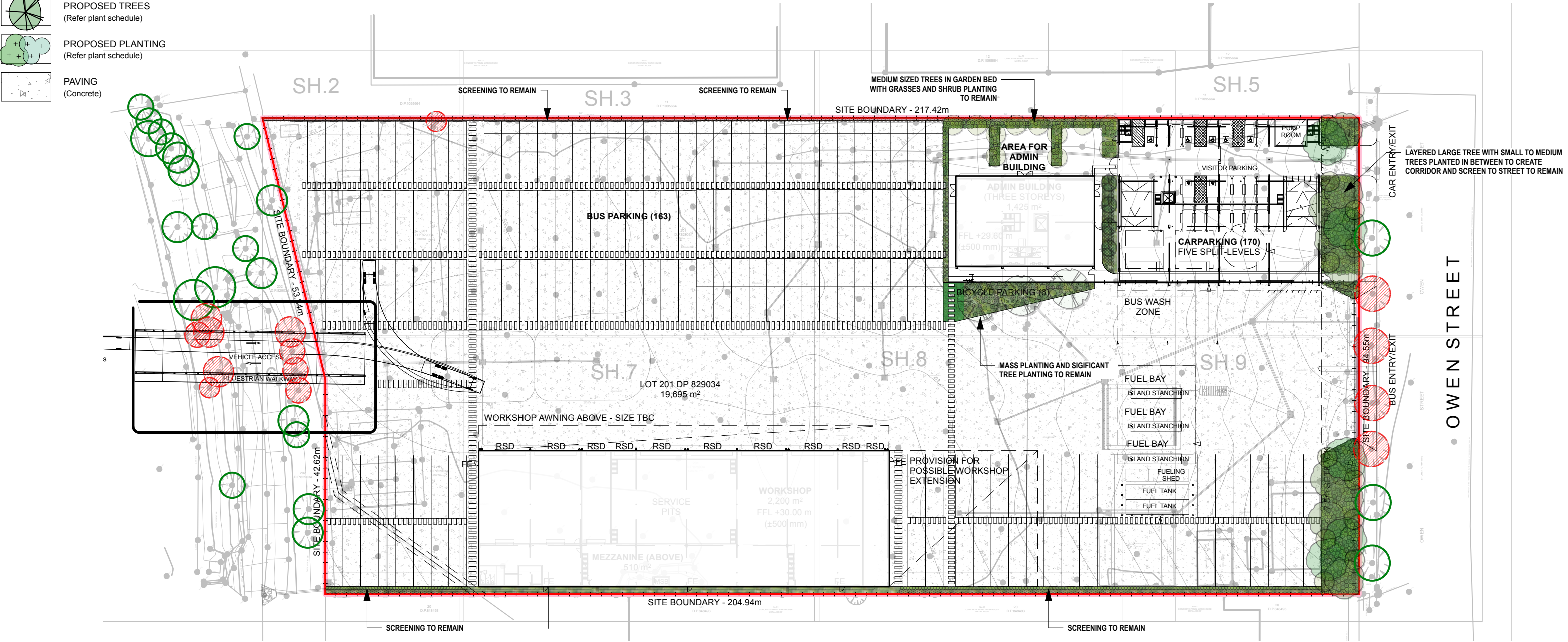
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D	3/3/23	UPDATED FOR COUNCIL SUBMISSION
ISSUE	DATE	COMMENT
REVISIONS		

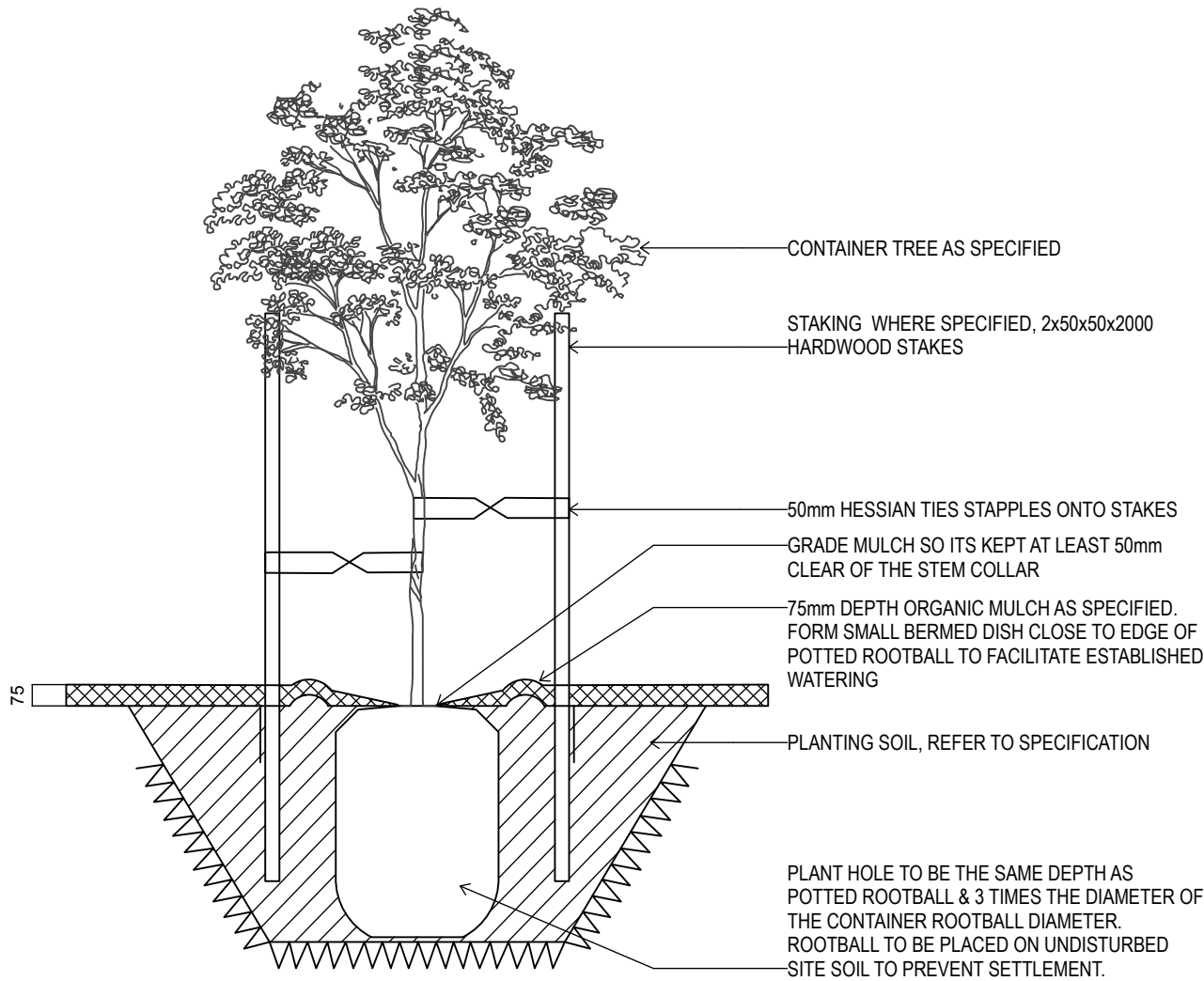
LEGEND

-  SITE BOUNDARY
-  EXISTING TREES RETAINED
-  TREES TO BE REMOVED
-  GARDEN: DEEP SOIL
-  PROPOSED TREES
(Refer plant schedule)
-  PROPOSED PLANTING
(Refer plant schedule)
-  PAVING
(Concrete)

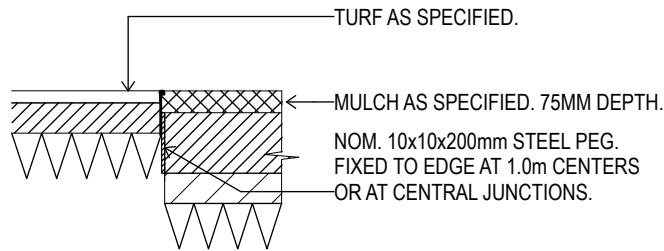


PLANTING SCHEDULE

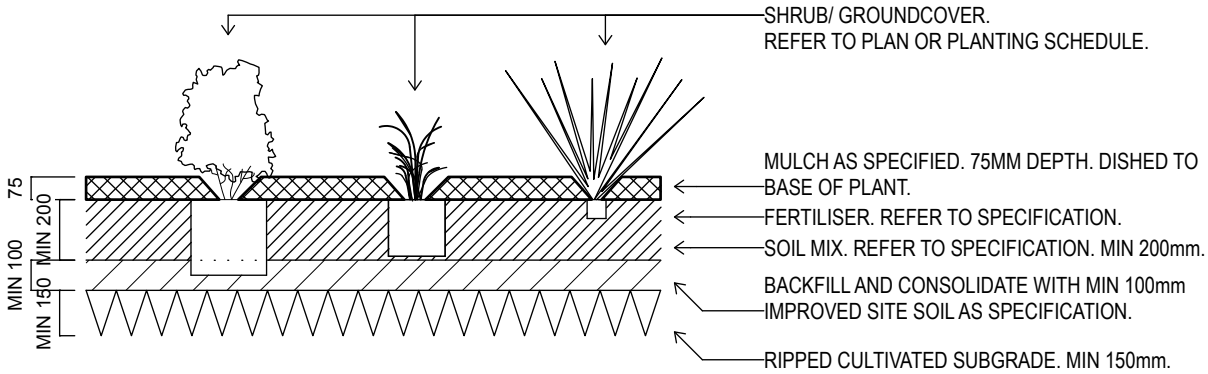
ID	Botanical Name	Common Name	Scheduled Size	Qty
Trees				
Ban-int	Banksia integrifolia	Coastal Banksia	75L	4
Cmac	Corymbia maculata	Spotted Gum	75L	8
Euc-bot	Eucalyptus botryoides	Bangalay, Southern Mahogany	75L	5
EUT	Eucalyptus tereticornis	Forest Red Gum, Burringoa	75L	9
TLaur-lus	Tristaniopsis laurina 'luscious'	Kanooka, Water Gum	75L	36
Shrubs				
Acm-smi	Acmena smithii 'Minor'	Lillypilly	200mm	352
Cal-b-jo	Callistemon viminalis 'Better John'	Weeping Bottlebrush	200mm	253
Cal-vim-lj	Callistemon viminalis 'Little John'	Weeping Bottlebrush	200mm	28
gre-ro	Grevillea rosmarinifolia	CRIMSON VILLEA	300mm	214
Wes-mun	Westringia 'Mundi'	Dwarf Coastal Rosemary	200mm	328
Grasses				
Dor-exc	Doryanthes excelsa	Gynea Lily	300mm	8
lom-ta	Lomandra 'Tanika'	Fine-leaved mat rush	150mm	670
Pen-alo-naf-2	Pennisetum 'Nafray'	Purple Fountain Grass	150mm	245
poa-la'Es'	Poa labillardieri 'Eskdale'	tussock grass	150mm	261
Poa-king	Poa poiformis	Poa Kingsdale	150mm	208



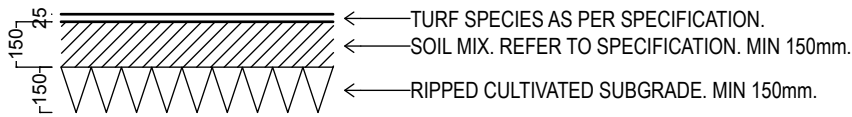
DETAIL: TYPICAL TREE PLANTING ON GRADE
1:30 @ A3



DETAIL: TYPICAL STEEL EDGE
1:30 @ A3



DETAIL: TYPICAL SHRUB PLANTING ON GRADE
1:30 @ A3



DETAIL: TURF ON EVEN GRADE
1:30 @ A3

LEGEND

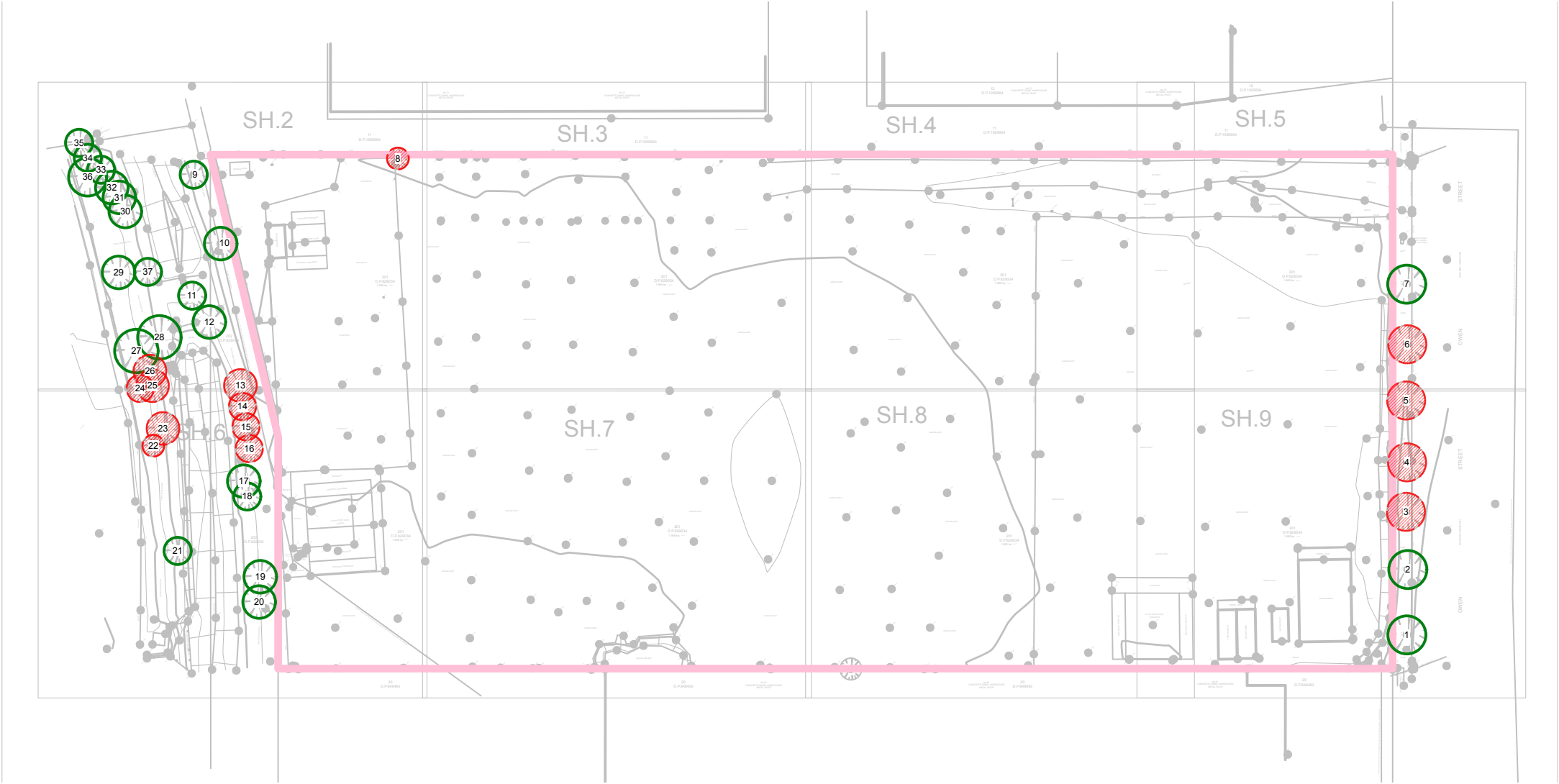
SITE BOUNDARY

EXISTING TREES RETAINED

TREES TO BE REMOVED

No.	Genus species	Height	Spread	DBH	TPZ	Foliage %	Age class	Defects Comment	Location	Services	Significance	Tree A2
1	Malus sp.	6	4	100	2.0	70%	M	Co-dominant	Grass	Nil	L	Z3
2	Malus sp.	6	4	100	2.0	70%	M	Co-dominant	Grass	Nil	L	Z3
3	Malus sp.	6	4	100	2.0	70%	M	Co-dominant	Grass	Nil	L	Z3
4	Malus sp.	6	4	100	2.0	70%	M	Co-dominant	Grass	Nil	L	Z3
5	Malus sp.	6	4	100	2.0	70%	M	Co-dominant	Grass	Nil	L	Z3
6	Malus sp.	6	4	100	2.0	70%	M	Co-dominant	Grass	Nil	L	Z3
7	Malus sp.	6	4	100	2.0	70%	M	Co-dominant	Grass	Nil	L	Z3
8	Washingtonia robusta	9	3	300	2.0	80%	M	Nil	Garden	Adjacent driveway	M	A1
9	Casuarina cunninghamiana	12	4	250	3.0	80%	M	Nil	Garden	Nil	M	A1
10	Casuarina cunninghamiana	12	4	250	3.0	80%	M	Nil	Garden	Nil	M	A1
11	Fraxinus sp.	7	5	150	2.0	70%	M	Self-seeded specimen	Grass	Nil	L	Z12
12	Phoenix canariensis	5	5	250	2.0	80%	S	Self-seeded specimen	Grass	Nil	L	Z1
13	Casuarina cunninghamiana	9	4	250	3.0	80%	S	Nil	Grass	Nil	M	Z12
14	Casuarina cunninghamiana	9	4	250	3.0	80%	S	Nil	Grass	Nil	M	Z12
15	Casuarina cunninghamiana	9	4	250	3.0	80%	S	Nil	Grass	Nil	M	Z12
16	Casuarina cunninghamiana	9	4	250	3.0	80%	S	Nil	Grass	Nil	M	Z12
17	Casuarina cunninghamiana	9	4	250	3.0	80%	S	Nil	Grass	Nil	M	Z12
18	Casuarina cunninghamiana	9	4	250	3.0	80%	S	Nil	Grass	Nil	M	Z12
19	Casuarina cunninghamiana	9	4	250	3.0	80%	S	Nil	Grass	Nil	M	Z12
20	Casuarina cunninghamiana	9	4	250	3.0	80%	S	Nil	Grass	Nil	M	Z12
21	Eucalyptus tereticornis	16	9	300	3.6	80%	M	Nil	Grass	Nil	H	A1

No.	Genus species	Height	Spread	DBH	TPZ	Foliage %	Age class	Defects Comment	Location	Services	Significance	Tree A2
22	Eucalyptus tereticornis	16	9	300	3.6	80%	M	Nil	Grass	Nil	H	A1
23	Eucalyptus tereticornis	16	9	300	3.6	80%	M	Nil	Grass	Nil	H	A1
24	Eucalyptus tereticornis	16	9	300	3.6	80%	M	Nil	Grass	Nil	H	A1
25	Eucalyptus tereticornis	16	9	300	3.6	80%	M	Nil	Grass	Nil	H	A1
26	Eucalyptus tereticornis	16	9	300	3.6	80%	M	Nil	Grass	Nil	H	A1
27	Eucalyptus tereticornis	16	9	300	3.6	80%	M	Nil	Grass	Nil	H	A1
28	Eucalyptus tereticornis	16	9	300	3.6	80%	M	Nil	Grass	Nil	H	A1
29	Eucalyptus tereticornis	16	9	300	3.6	80%	M	Nil	Grass	Nil	H	A1
30	Eucalyptus tereticornis	16	9	300	3.6	80%	M	Nil	Grass	Nil	H	A1
31	Eucalyptus tereticornis	16	9	300	3.6	80%	M	Nil	Grass	Nil	H	A1
32	Eucalyptus tereticornis	16	9	300	3.6	80%	M	Nil	Grass	Nil	H	A1
33	Eucalyptus tereticornis	16	9	300	3.6	80%	M	Nil	Grass	Nil	H	A1
34	Eucalyptus tereticornis	16	9	300	3.6	80%	M	Nil	Grass	Nil	H	A1
35	Eucalyptus tereticornis	16	9	300	3.6	80%	M	Nil	Grass	Nil	H	A1
36	Eucalyptus tereticornis	16	9	300	3.6	80%	M	Nil	Grass	Nil	H	A1
37	Melaleuca stypheloides	9	5	250	3.0	80%	M	Nil	Grass	Nil	M	A1
38	Malus sp.	5	3	100	2.0	70%	M	Nil	Grass	Adjacent building	L	Z3



MAINTENANCE GENERAL NOTES

SECTION C: LANDSCAPE MAINTENANCE SPECIFICATION 1.0 SCOPE

1.1 PERIOD

The 52 week Planting Establishment Period commences at the date of registration of the repective plan.

The contractor is to also allow for maintenance from the date of Practical Completion to the start date of the 52 week Planting Establishment Period. The allowance shall be for a weekly rate which will then be implemented until the formal maintenance period commences.

1.2 PROGRAM

Furnish a proposed planting maintenance program with the tender.

1.3 MAINTENANCE LOGBOOK

Contractor to keep a maintenance record of works carried out on a monthly basis. Log should include but not limited to: - Activities carried out during each attendance;

- Irregularities encountered and actions taken;

NB: Maintenance payments will be evaluated on submission of monthly logbooks.

1.4 RECURRENT WORKS

Throughout the Planting Establishment Period, continue to carry out recurrent works of a maintenance nature including, but not limited to, watering, mowing, weeding, rubbish removal, fertilising, pest and disease control, staking and tying, replanting, cultivating, pruning and keeping the site neat and tidy. All rubbish related to landscape works shall be removed by the landscape contractor before it is allowed to accumulate.

1.5 PLANTING

Commence recurrent planting maintenance works at the completion of planting. Ensure the stock arriving on site is protected and maintained for healthy growth.

1.6 REPLACEMENTS

Continue to replace failed, damaged or stolen plants for the extent of the Planting Establishment Period.

1.7 MULCHED SURFACES

Maintain the surface in a clean and tidy condition and reinstate the mulch as necessary.

1.8 GRASSED AREAS

Commence grass maintenance works at the completion of turfing, and continue to carry out grass maintenance throughout the contract and Planting Establishment Period, maintaining healthy weed free growth.

1.9 STAKES AND TIES

Adjust or replace as required. Remove those not required at the end of the Planting Establishment Period.

1.10 WATERING/ IRRIGATION

An irrigation system is to be installed to all mass planted beds and new tree planting, connected to a pump and the rainwater tank /OSD tank. Install one tap near the front boundary (Wurrook Circuit) and one tap on the rear (eastern) boundary. This system shall be installed and maintained for the duration of the maintenance period (52 weeks) and in perpetuity of the development. All irrigation works shall be performed by a licensed irrigation contractor. Materials to be used are to be submitted to the site superintendent for approval. The contractor shall provide design drawings and material specifications/samples prior to commencing work. All works are to be conducted to all current and relevant Australian Standards.

The contractor is to be completely responsible for the coordination of the installation of the irrigation system with other services throughout the site. Recommended flow rates: The system shall be set up on a trial basis and them adjusted to suit the local requirements and conditions. Once the system is satisfactorily adjusted the contractor shall make fortnightly visits within the establishment period to ensure satisfactory performance of the system and to adjust the watering periods as required. A minimum even coverage of 25mm of water per week is recommended.

2.0 REPORTS

2.1 LANDSCAPE MAINTENANCE REPORT

'Landscape Maintenance Reports' shall be submitted to the Principle Certifying Authority by the contractor verifying that satisfactory maintenance of the landscape works has been undertaken and that any necessary rectification measures have been carried out to a high professional standard. This documentation is to be submitted through the plant establishment period.

PLAN NOTES

This plan should be read in conjunction with the architectural and hydraulics plans. Work specific to these plans should be prepared in accordance to these plans, including specification and details prior to the installation of landscaping, and should not be altered or compromised during landscape construction.

Retaining wall details to engineers design.

Elements such as drainage swales may be incorporated in garden bed areas (using non-floatable mulch) without compromising the capacity or form.

The Design & location of new letter boxes shall be in accordance with Australia Post's "Requirements for Delivery of Mail to Residential Premises" published Feb '97. All noxious weeds listed in Councils weed lists & located on the site shall be continually removed & suppressed. Reinstate all boundary fencing in poor condition with Council approved 1.8m fencing to rear of building line, rake to 1m forward of BL. Pollution, sediment & erosion control devices as specified shall be in place, and maintained for the duration of the construction period. Proposed excavation near existing established trees to be supervised by arborist.

This plan has been prepared for DA approval only, not for construction.

Planting proposed using commercially available plant species selected from local planting lists and the BASIX local plant list
D.A approved landscape plan's are required to be constructed as approved to obtain occupancy certificate.

GENERAL NOTES

GENERAL NOTES

All work to be carried out in accordance with the Building Code of Australia, all Local and State Government Ordinances, relevant Australian Standards, Local Authorities Regulations and all other relevant Authorities concerned. All structural work and site drainage to be subject to Engineer's details or certification where required by Council. This shall include r.c. slabs and footings, r.c. and steel beams & columns, wind bracing to AS 1170 and AS4055, anchor rods or bolts, tie downs, fixings etc., driveway slabs and drainage to Council's satisfaction. All timbers to be in accordance with SAA Timber Structure Code AS1720 and SAA Timber Framing Code AS 1684.

NOTE

Do not scale off the drawings unless otherwise stated and use figured dimensions in preference.

All dimensions are to be checked and verified on site before the commencement of any work, all dimensions and levels are subject to final survey and set-out

No responsibility will be accepted by Sitedesign for any variations in design, builder's method of construction or materials used, deviation from specification without permission or accepted work practices resulting in inferior construction. Locate and protect all services prior to construction.

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IRRIGATION NOTES

All gardens to have installed a drop irrigation system controlled from within the store & run off tank water (with possible town water top up). Irrigation system can be designed and installed by Site Design. Call David James on 0488 358 180

LANDSCAPE MAINTENANCE NOTES

MONTH	MOWING EDGING BLOWING	FERTILISING (SEASOL)	CHECK IRRIGATION	HAND WEED REMOVAL	PRUNING	WEED SPRAYING	WATERING/ IRRIGATION	PLANT REPLACEMENT IF REQUIRED
DEC	W	M	M	W	F	M	D	W
JAN	W	M	M	W	F	M	D	W
FEB	W	M	M	W	F	M	D	W
MAR	F	M	M	F	M	M	D	W
APR	F	N/A	M	F	M	M	D	W
MAY	F	N/A	M	M	M	M	D	W
JUNE	M	N/A	M	M	N/A	N/A	2ND D	W
JULY	M	N/A	M	M	N/A	N/A	2ND D	W
AUG	M	N/A	M	M	N/A	N/A	2ND D	W
SEP	M	M	M	M	N/A	N/A	2ND D	W
OCT	F	F	M	F	M	M	D	W
NOV	F	F	M	F	M	M	D	W

PLANTING ESTABLISHMENT PERIOD - 12 MONTHS
LANDSCAPE MATERIAL ESTABLISHMENT - 12 MONTHS
KEY D-DAILY, W-WEEKLY, F-FORTNIGHTLY, M-MONTHLY, 2ND D-DAY

EXEMPT TREE REMOVAL

Any declared noxious plant. The applicant is to ensure that all noxious plants are properly identified and controlled/removed.
iv) Any tree species exempted by the Sutherland Shire Local Environmental Plan 2015.



LANDSCAPE SPECIFICATION

PRELIMINARIES

1.01 GENERAL

The following general conditions should be considered prior to the commencement of landscape works:

The landscape plans should be read in conjunction with the architectural plans, hydraulic plans, service plans and survey prepared for the proposed development.

All services including existing drainage should be accurately located prior to the commencement of landscape installation. Any proposed tree planting which falls close to services will be relocated on site under the instruction of the landscape architect.

Installation of conduit for required irrigation, electrical and other services shall be completed prior to the commencement of hardscape works and hardstand pours.

All outdoor lighting specified by architect or client to be installed by qualified electrician

Anomalies that occur in these plans should be brought to our immediate attention.

Where an Australian Standard applies for any landscape material testing or installation technique, that standard shall be followed.

1.02 PROTECTION OF ADJACENT FINISHES

The Contractor shall take all precautions to prevent damage to all or any adjacent finishes by providing adequate protection to these areas / surfaces prior to the commencement of the Works

1.03 PROTECTION OF EXISTING TREES

Existing trees identified to be retained shall be done so in accordance with NATSPEC Guide 2 "A Guide to Assessing Tree Quality". Where general works are occurring around such trees, or pruning is required, a qualified Arborist shall be engaged to oversee such works and manage tree health.

Existing trees designated on the drawing for retention shall be protected at all times during the construction period. Any soil within the drip-line of existing trees shall be excavated and removed by hand only. No stockpiling shall occur within the root zone of existing trees to be retained.

Any roots larger in diameter than 50mm shall only be severed under instruction by a qualified arborist. Roots smaller than 50mm diameter shall be cut cleanly with a saw.

Temporary fencing shall be installed around the base of all trees to be retained prior to the commencement of landscape works.

Where possible this fencing will be located around the drip line of these trees, or a minimum of 3m from the trunk. The fencing shall be maintained for the full construction period.

1.04 EROSION & POLLUTION CONTROL

The Contractor shall take all proper precautions to prevent the erosion of soil from the subject site. The contractor shall install erosion & sediment control barriers and as required by council, and maintain these barriers throughout the construction period. Note that the sediment control measures adopted should reflect the soil type and erosion characteristics of the site.

Erosion & pollution control measures shall incorporate the following:

- Construction of a sediment trap at the vehicle access point to the subject site.
- Sediment fencing using a geotextile filter fabric in the location indicated on the erosion control plan or as instructed on site by the landscape architect.
- Earth banks to prevent scour of stockpiles
- Sandbag kerb sediment traps
- Straw bale & geotextile sediment filter.
- Exposed banks shall be pegged with an approved Jute matting in preparation for mass planting

Refer to "Sitewise Reference Kit" as prepared by DLWC & WSROC (1997) for construction techniques

SOIL WORKS

2.01 MATERIALS

Specified Soil Conditioner (Generally to improve site soil)

The specified soil conditioner for site top-soil improvement shall be an organic mix, equal to "Botany Humus", as supplied by ANL. Note that for sites where soil testing indicates toxins or extremes in pH, or soils that are extremely poor, allow to excavate and supply 300mm of imported soil mix.

New gardens & proposed Planting

New garden and planting areas shall consist of a 50/50 mix of clean site soil (refer d) below) and imported "Organic Garden Mix" as supplied by ANL or approved equal. All mixes are to comply with AS 4419 Soils for landscaping & garden use, & AS 4454 Composts, Soil conditioners & mulches.

Specified Soil Mix - Turf

The specified soil mix for all turf areas shall be a min 75mm layer of imported soil mix consisting of 80% washed river sand (reasonably coarse), and 20% composted organic matter equivalent to mushroom compost or soil conditioner, or other approved lawn top dress.

Site Topsoil

Site topsoil is to be clean and free of unwanted matter such as gravel, cXXlay lumps, grass, weeds, tree roots, sticks, rubbish and plastics, and any deleterious materials and materials toxic to plants. The topsoil must have a pH of between 5.5 and 7. Use 100% imported soil mix when site when site topsoil runs out.

Podium Soil

Equal to ANL Re-Card Podium soil mix. Soil to finish flush with top of wall heights & mounded 300mm above the wall toward the centre of the planterbox. Soil is to be lightly compacted as it is filled in to reduce aeration & soil drop as it decomposes & settles.

2.02 INSTALLATION

a) Establishing Subgrade Levels

Subgrade levels are defined as the finished base levels prior to the placement of the specified material (i.e. soil conditioner). The following subgrade levels shall apply:

Mass Planting Beds - 300mm below existing levels with specified imported soil mix.

Turf areas - 100mm below finished surface level. Note that all subgrades shall consist of a relatively free draining natural material, consisting of site topsoil placed previously by the Civil Contractor. No builders waste material shall be acceptable.

b) Subgrade Cultivation

Cultivate all subgrades to a minimum depth of 100mm in all planting beds and all turf areas, ensuring a thorough breakup of the subgrade into a reasonably coarse tilth. Grade subgrades to provide falls to surface and subsurface drains, prior to the placement of the final specified soil mix.

c) Drainage Works

Install surface and subsurface drainage where required and as detailed on the drawing. Drain subsurface drains to outlets provided, with a minimum fall of 1:100 to outlets and / or service pits.

d) Placement and Preparation of Specified Soil Conditioner & Mixes.

Trees in turf & beds - Holes shall be twice as wide as root ball and minimum 100mm deeper - backfill hole with 50/50 mix of clean site soil and imported "Organic Garden Mix" as supplied by ANL or approved equal.

Mass Planting Beds - Install specified soil conditioner to a compacted depth of 100mm

Place the specified soil conditioner to the required compacted depth and use a rotary hoe to thoroughly mix the conditioner into the top 300mm of garden bed soil. Ensure thorough mixing and the preparation of a reasonably fine tilth and good growing medium in preparation for planting.

Turf Areas - Install specified soil mix to a minimum compacted depth of 75mm.

Place the specified soil mix to the required compacted depth and grade to required finished soil levels, in preparation for planting and turfing.

PLANTING

3.01 MATERIALS

a) Quality and Size of Plant Material

All trees supplied above a 25L container size must be grown and planted in accordance with *Clarke, R 1996 Purchasing Landscape Trees: A guide to assessing tree quality. Natspec Guide No. 2*. Certification that trees have been grown to Natspec guidelines is to be provided upon request of Council's Tree Management Officer.

Above - Ground Assessment:

The following plant quality assessment criteria should be followed:

Plant true to type, Good vigour and health, free from pest & disease, free from injury, self-supporting, good stem taper, has been pruned correctly, is apically dominant, has even crown symmetry, free from included bark & stem junctions, even trunk position in pot, good stem structure

Below - Ground Assessment:

Good root division & direction, rootball occupancy, rootball depth, height of crown, non-suckering

For further explanation and description of these assessment criteria, refer to Ross Clark's book.

All Plant material shall be to the type and size specified. No substitutions of plant material shall be permitted without written prior approval by the Landscape Architect. No plant shall be accepted which does not conform to the standards listed above.

b) Stakes and Ties

Provide min. 2 No. Stakes and ties to all plants identified as trees in the plant schedule. Stakes shall be sound, unpainted, straight hardwood, free of knots and pointed at one end. They shall be 2200mm x 50mm x 50mm Hardwood, or approved alternative. Ties shall be 50mm wide hessian webbing material.

c) Fertilisers

Fertilisers shall be approved slow release fertilisers suitable for the proposed planting types. Note that for native plants, specifically Proteaceae family plants including Grevillea species, low phosphorus fertilizers shall be used.

d) Mulch

Mulch shall be an approved equal to "Forest Blend" as supplied by ANL. Mulch shall be completely free from any soil, weeds, rubbish or other debris.

e) Turf

Turf shall be "Sir Walter" Buffalo or equivalent (unless stated otherwise), free from any weeds and other grasses, and be in a healthy growing condition.

3.02 INSTALLATION

a) Setting Out

All planting set out shall be in strict accordance with the drawings, or as directed. Note that proposed tree planting located near services should be adjusted at this stage. Notify Landscape Architect for inspection for approval prior to planting.

b) Planting

All plant material shall be planted as soon after delivery as possible. Planting holes for trees shall be excavated as detailed and specified. Plant containers shall be removed and discarded, and the outer roots gently teased from the soil mass. Immediately set plant in hole and backfill with specified soil mix, incorporating the approved quantity of fertiliser for each plant type. Ensure that plants are set plumb vertically and root balls set to the consolidated finished grades detailed on the drawings. Compact the backfilled soil and saturate by hand watering to expel any remaining air pockets immediately after planting.

c) Staking and Tying

Staking and tying shall be in strict accordance with the drawings and shall occur immediately following plant placement and soil backfilling. All plants identified as "Trees" on the planting schedule shall be staked with a min. 3 stakes.

d) Mulching

Mulch should be spread so that a compacted thickness of 75mm is achieved after settlement in all planting beds and around each individual plant. Apply immediately following planting and watering in, ensuring that a 50mm radius is maintained around the trunk of each plant . There shall be no mixing of soil and mulch material.

e) Turfing

Moisten soil prior to the turf being laid. Turf shall be neatly butt jointed and true to grade to finish flush with adjacent surfaces. Incorporate a lawn fertilizer and thoroughly water in. Keep turf moist until roots have taken and sods/rolls cannot be lifted. Keep all traffic off turf until this has occurred. Allow for top dressing of all turf areas. All turf shall be rolled immediately following installation.

f) Steel Garden Edging

The Contractor shall install stone edging as shown on the drawings, to all mass planting beds adjoining turf or gravel mulched areas, and where required. The resultant edge shall be true to line and flush with adjacent surfaces.

HARDSCAPE WORKS

4.01 GENERAL

The Contractor shall undertake the installation of all hardscape works as detailed on the drawing, or where not detailed, by manufacturers specification.

Paving - refer to typical details provided, and applicable Australian Standards. *Permeable paving may be used as a suitable means of satisfying Council permeable surface requirements, while providing a useable, hardwearing, practical surface.* In most instances, the client shall nominate the appropriate paving material to be used.

Australian Standards shall be adhered to in relation to all concrete, masonry & metal work. Some details are typical and may vary on site. All hardscape works shall be setout as per the drawings, and inspected and approved by the Landscape Architect prior to installation. All workmanship shall be of the highest standard. Any queries or problems that arise from hardscape variations should be bought to the attention of the Landscape Architect.

Your attention is directed to any obligations or responsibilities under the Dividing Fences Act, 1991 in respect of adjoining property owner/s which may arise from this application. Any enquiries in this regard may be made to the Crown Lands Division on (02) 8836 5332

IRRIGATION WORKS

5.01 GENERAL (PERFORMANCE SPECIFICATION)

An automated drip-irrigation system is to be installed to all gardens, planters and lawn areas in accordance with the approved Irrigation Design.

This system shall be designed and installed by a qualified and licensed irrigation specialist, to the highest industry standards and to maximise the efficient usage of water.

The Installer is required to obtain all approvals necessary for the completion of works in accordance with the Laws of Australia, Laws of the State of NSW, Council By-Laws and Ordinances.

Drawings:

- The Landscape Contractor nominated Licensed Irrigation Specialist shall provide irrigation drawings for approval upon engagement.

Design Requirements:

- The irrigation system shall be installed prior to all planting works. It shall incorporate a commercially available irrigation system, with sub-surface dripper lines to irrigate all gardens, planters and lawn areas.
- It shall incorporate a suitable back flow prevention device for the scale of works, an in-line filter, check valves, and suitable high and low density poly hose fittings and PVC piping to achieve flow rates suitable for specified planting.
- The irrigation application rate shall not exceed the infiltration rate of the soil or creates run-off.
- The landscape contractor shall check the existing pressure available from the ring mains and size irrigation piping to suit. Supply shall be from local hose cock where available.
- All piping and fittings shall be buried 50mm below the finished soil levels in garden and lawn areas, and secured in position at 500mm centres with galy wire pins.
- Size of pipes shall be selected to ensure the working pressure at the end of the line does not decrease by more than 5%.

Services Co-ordination:

- Co-ordination required by Landscape Contractor or Project Manager to provide required conduit, pipe work and penetration through slabs and planter walls for water and power provisions.
- The Landscape Contractor shall be engaged with the Irrigation Specialist to co-ordinate with the Project Manager to identify the preferred service and conduit locations.
- Project Manager and Landscape Contractor to establish area suitable for irrigation control system with required area, power provision and water supply.

Testing & Defects:

Upon completion of installation, the system shall be tested, including:

- Main Line Pressure Test: The main line is pressurised to test for leaks. All valves are shut and the pressure is taken over a determined length of time.
- Dripper Pressure Test: Measurement at flushing valves are taken and the pressure gauged to make sure it conforms to the manufacturer recommendations. The inlet pressure is then tested under the same conditions to check it does not exceed 300Kpa.
- All components are to be satisfactorily functional and operational prior to approval. Should any defect develop, or the capacity or efficiency of the system decline during the agreed maintenance system, then these faults shall be immediately rectified.

Warranty :

- A full 12 month warranty shall be included to cover labour and all parts.

Further Documentation:

- On request, a detailed irrigation performance specification report can be issued.

12 MONTH MAINTENANCE

6.01 GENERAL

The consolidation and maintenance period shall be 12 months beginning from the approved completion of the specified construction work (Practical Completion). A qualified landscape maintenance contractor shall undertake the required landscape maintenance works. Consolidation and maintenance shall mean the care and maintenance of Contracted works by accepted landscaping or horticultural practices, ensuring that all plants are in optimum growing conditions and appearance at all times, as well as rectifying any defects that become apparent in the contracted works.

This shall include, but not be limited to, the following items where and as required: Watering all planting and lawn areas / irrigation maintenance.

Clearing litter and other debris from landscaped areas.

Removing weeds, pruning and general plant maintenance.

Replacement of damaged, stolen or unhealthy plants. Make good areas of soil subsidence or erosion.

Topping up of mulched areas.

Spray / treatment for Insect and disease control.

Fertilizing with approved fertilizers at correct rates.

Mowing lawns & trimming edges each 14 days in summer or 18 days in winter Adjusting ties to Stakes

Maintenance of all paving, retaining and hardscape elements.

On the completion of the maintenance period, the landscape works shall be inspected and at the satisfaction of the superintendent or landscape architect, the responsibility will be signed over to the client.